



COPPER VALLEY COMMUNITY SERVICES DISTRICT
Physical-1000 Saddle Creek Drive
Copperopolis, CA 95228
Mailing-PO Box 5158, Sonora CA 95370
(209) 785-0100 – coppervalleycsd.org

DIRECTORS
Darlene DeBaldo, President
Roger Golden, Vice President
Kenneth Albertson
Rebecca Coleman
Bob Vezina

BOARD OF DIRECTORS REGULAR MEETING AGENDA
NOVEMBER 21, 2023, 2:00 PM
LOCATION: COPPER VALLEY SPORTS CENTER

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **CHANGES TO ORDER OF AGENDA**
5. **PUBLIC COMMENT (Each speaker is limited to two (2) minutes)** Members of the public are appreciated for taking the time to attend this meeting and provide comments on matters of District business. Any member of the public may address the Board relating to any matter within the Board's jurisdiction. This need not be related to any item on the agenda; however, the Board cannot act on an item unless it was noticed on the agenda
6. **CONSENT CALENDAR**
Consent Calendar items are considered routine and will be acted upon by one motion. There will be no separate discussion on these items unless a member of the Board, Staff or a member of the Public requests specific items be set aside for separate discussion.
 - a) Review of monthly financial report, approval of bills and claims for the month of October 2023.
 - b) Approval of the minutes from the Regular Board Meeting held October 17, 2023.
7. **DISCUSSION AND ACTION ITEMS**
The Board of Directors intends to consider each of the following items and may act at this meeting. Public comment is allowed on each individual agenda item listed below, and such comment will be considered in advance of each Board action.
 - a) Conduct Public Hearing Regarding the Adoption of the Encroachment Ordinance
 - i. Adoption of a Resolution Approving an Encroachment Ordinance that prohibits encroachment onto District easements, property and rights-of-way without a permit
 - b) Review of NBS Annual Report Regarding Special Tax Collection and Expenditures
 - c) Update on the Improvements to the Privacy Gate (DeBaldo)
 - d) Adoption of a Resolution Approving and Authorizing Public Bidding of the 2023 Sidewalk Replacement Project
 - e) Consideration of Approval of a Change in District Employee Health Benefits and Benefits Administrator
8. **STAFF AND DIRECTOR REPORTS**
Brief reports may be provided by District staff and/or Board members as information on matters of general interest. No action will be taken by the Board during Reports, however items discussed may be recommended for discussion and action on a future agenda.
 - a) General Managers Report
 - b) Site Managers Report
9. **ADJOURNMENT**
Agenda Materials: May be viewed on the bulletin boards outside the Copper Valley Pro Shop, on the Sports Club Bulletin Board, in the viewing box outside the CSD main office and at the CSD Website typically three days preceding each meeting date. Materials will also be available at the meeting.

Americans with Disabilities Act Compliance: If you require special assistance to participate in Board Meetings, please contact the CVCS District Clerk at (209) 272-0957. Advance notification will enable the District to make reasonable arrangements to insure accessibility.



Copper Valley Community Services District
Treasurer's Report

October 31, 2023

**Copper Valley Community Services District
Treasurer's Report
October 2023**

Statement of Cash Flows

For the 4 Months Ending October 31, 2023

	Umpqua Bank Checking	Calaveras Co Fund 2188	LAIF	CA Class Savings	YTD Total
Net Income	(432,981)	(72,718)	1,822	22,664	(481,213)
OPERATING ACTIVITIES					
Adjustments to reconcile Net Income to Net Cash used in Operations:					
1200 Accounts Receivable	-				-
2000 Accounts Payable	(31,725)				(31,725)
2050 Umpqua CSDA Visa	(10,718)				(10,718)
2100 Payroll Taxes Payable	259				259
2150 Accrued Payroll	3,919				3,919
2200 Sales Tax Payable	-				-
Net cash used in operating activities	(471,246)	(72,718)	1,822	22,664	(519,478)
Bank Transfers In/Out	400,000			(400,000)	
Net cash decrease for period	(71,246)	(72,718)	1,822	(377,336)	(519,478)
Cash at beginning of period (7/1/2023)	204,598	71,799	107,567	1,338,663	1,722,627
Cash at end of period	133,351	(919)	109,389	961,328	1,203,149

**Copper Valley Community Services District
Treasurer's Report
October 2023**

Cash Flow Projection

		FY 23-24									
		Oct-2023	Nov-2023	Dec-2023	Jan-2024	Feb-2024	Mar-2024	Apr-2024	May-2024	Jun-2024	
REGULAR CHECKING											
Beginning Checking Account Balance		\$ 131,177	\$ 133,351	\$ 62,200	\$ 191,049	\$ 119,897	\$ 867,406	\$ 796,255	\$ 626,175	\$ 1,150,413	
Deposits	Assessments	\$ -	\$ -	\$ -	\$ -	\$ 818,660		\$ -	\$ 595,389	\$ -	
	Other Income	\$ -									
	Road Improvement Loan	\$ -									
	Transfers	\$ 250,000	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Disbursements											
	Paychecks	\$ 37,461	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000	\$ 27,000
	Payroll Taxes	\$ 13,310	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000
	Checks Written										
	Other Operating & Admin Costs	\$ 82,875	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000
	Workers Comp Insurance	\$ -	\$ -								
	Property Liability Insurance	\$ -	\$ -								
	Transfers	\$ -									
	Lease payments	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051	\$ 1,051
	Capital Outlay	\$ -	(Budget for this period is unknown at this time)								
	Projects Costs										
	Series A (2018 project refinance)	\$ 41,076	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 41,071	\$ -	\$ -	\$ -
	Series B (Phase 2 Road Imprpv.)	\$ 57,865	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 57,857	\$ -	\$ -	\$ -
	Credit Card Payments	\$ 13,548	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000
	ACS Debits - (Utilities, Lease Pymts,P/R processing)	\$ 639	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100	\$ 2,100
	Total Disbursements	\$ 247,826	\$ 71,151	\$ 71,151	\$ 71,151	\$ 71,151	\$ 71,151	\$ 170,079	\$ 71,151	\$ 71,151	\$ 71,151
Ending Checking Account Balance		\$ 133,351	\$ 62,200	\$ 191,049	\$ 119,897	\$ 867,406	\$ 796,255	\$ 626,175	\$ 1,150,413	\$ 1,079,262	
	check	\$ -									
	Check	\$ -									

NOTE: This cash flow projection uses estimates of outlays using information available at the time of preparation

COPPER VALLEY COMMUNITY SERVICES DISTRICT
 FY 2023-24 MONTHLY BUDGET REPORT ANALYSIS
 October 2023

		ACTUALS			BUDGET		
		Last Year July - Oct	This Year July - Oct	Variance Incl (Decr)	This year's BUDGET	\$ Budget Remaining	% Budget Remaining
EXPENDITURES							
SERVICES AND SUPPLIES							
ADMINISTRATION							
OE01	Audit Expense	\$ -	\$ -	\$ -	\$ 9,200	\$ 9,200	100%
OE02	Finance Expenses	\$ 224	\$ 245	\$ 21	\$ 700	\$ 455	65%
OE02-1	Parcel Tax Implementation	\$ -	\$ -	\$ -	\$ 6,300	\$ 6,300	100%
OE03	Advertising	\$ 437	\$ 332	\$ (104)	\$ 1,300	\$ 968	74%
OE04	Legal Expenses	\$ 2,925	\$ 3,025	\$ 100	\$ 6,300	\$ 3,275	52%
OE06	Insurance (Property Loss/Liability)	\$ 9	\$ -	\$ (9)	\$ 21,000	\$ 21,000	100%
OE07	Miscellaneous/Contingency	\$ 640	\$ -	\$ (640)	\$ 8,400	\$ 8,400	100%
OE08	Professional Development (Travel/Training)	\$ 2,200	\$ 2,778	\$ 578	\$ 9,300	\$ 6,522	70%
OE09	Dues, Certifications & Subscriptions	\$ 5,344	\$ 5,670	\$ 326	\$ 7,900	\$ 2,230	28%
OE10	Uniform Expenses	\$ 2,303	\$ 4,791	\$ 2,488	\$ 10,400	\$ 5,609	54%
OE11	Electric Power/Water/Sewer	\$ 49,220	\$ 21,176	\$ (28,044)	\$ 96,000	\$ 74,824	78%
OE12	Telephone/Internet Service	\$ 2,736	\$ 2,560	\$ (177)	\$ 7,700	\$ 5,140	67%
OE14	Office Supplies/Postage	\$ 1,618	\$ 5,971	\$ 4,353	\$ 9,600	\$ 3,629	38%
OE15	Office Equipment Repair/Replacement	\$ 2,123	\$ 517	\$ (1,606)	\$ 6,300	\$ 5,783	92%
OE15-1	Office Equipment Lease	\$ 916	\$ 806	\$ (110)	\$ 2,600	\$ 1,794	69%
OE26	County Fees/LAFCO	\$ 3,019	\$ 2,972	\$ (47)	\$ 6,600	\$ 3,628	55%
OE27	Bank Charges	\$ 327	\$ 706	\$ 378	\$ 900	\$ 194	22%
OE29	Accounting Services	\$ 9,500	\$ 5,700	\$ (3,800)	\$ 26,300	\$ 20,600	78%
OE30	Reimbursable Maint/Repair Expense	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE31	Office Lease	\$ -	\$ 1,624	\$ 1,624	\$ 1,800	\$ 176	10%
OE41	HR Consultant	\$ -	\$ -	\$ -	\$ 2,500	\$ 2,500	100%
OE42	Quail Creek Engineering	\$ 1,800	\$ 2,100	\$ 300	\$ 10,500	\$ 8,400	80%
PE03-1	Payroll Taxes - Administration	\$ 6,432	\$ 6,157	\$ (276)	\$ -	\$ -	
PE06-1	Employee Wages - Administration	\$ 84,083	\$ 80,475	\$ (3,608)	\$ -	\$ -	
PE03-7	Payroll Taxes - Quail Creek	\$ 14	\$ -	\$ (14)	\$ -	\$ -	
PE06-7	Employee Wages - Quail Creek	\$ 177	\$ -	\$ (177)	\$ -	\$ -	
	Total Administration	\$ 176,047	\$ 147,604	\$ (28,444)	\$ 251,600	\$ 190,628	76%
COMMON AREAS							
OE16	Gate Maintenance & Opener Purchase	\$ 16,289	\$ 47,415	\$ 31,126	\$ 15,100	\$ (32,315)	-214%
OE16-1	Gate System Improvements (RFID,etc)	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE17	Streets/Sidewalks/Lighting Maint & Repair	\$ 9,746	\$ 11,375	\$ 1,629	\$ 15,900	\$ 4,525	28%
OE17-2	Storm Drains	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
PE03-5	Payroll Taxes - Streets	\$ -	\$ -	\$ -	\$ -	\$ -	
PE06 -5	Employee Wages - Streets	\$ -	\$ -	\$ -	\$ -	\$ -	
OE18-1	Landscape Supplies & Repairs	\$ 16,305	\$ 16,699	\$ 394	\$ 46,100	\$ 29,401	64%
OE18-2	CCWD Water	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE18-3	Landscape Equipment Gas & Oil	\$ 5,829	\$ 488	\$ (5,341)	\$ 9,400	\$ 8,912	95%
OE18-4	Landscape Equipment Repair/Replacement	\$ 4,547	\$ 19,387	\$ 14,840	\$ 44,300	\$ 24,913	56%
PE03-2	Payroll Taxes - Common Areas	\$ 6,374	\$ 7,414	\$ 1,040	\$ -	\$ -	
PE06 -2	Employee Wages - Common Areas	\$ 83,320	\$ 95,368	\$ 12,048	\$ -	\$ -	
	Total Common Areas	\$ 142,409	\$ 198,145	\$ 55,736	\$ 130,800	\$ 35,437	27%
MOSQUITO ABATEMENT							
OE22-1	Mosquito Control Products	\$ 376	\$ -	\$ (376)	\$ 19,700	\$ 19,700	100%
OE22-2	Mosquito Abatement Monitoring & Testing	\$ 468	\$ 1,448	\$ 980	\$ 4,500	\$ 3,052	68%

COPPER VALLEY COMMUNITY SERVICES DISTRICT
 FY 2023-24 MONTHLY BUDGET REPORT ANALYSIS
 October 2023

		ACTUALS			BUDGET		
		Last Year July - Oct	This Year July - Oct	Variance Incl (Decr)	This year's BUDGET	\$ Budget Remaining	% Budget Remaining
EXPENDITURES							
OE22-3	Mosquito Abatement Vehicles Gas & Oil	\$ 5,186	\$ 7,020	\$ 1,834	\$ 13,800	\$ 6,780	49%
OE22-4	Mosquito Abatement Equipment Maintenance	\$ 6,151	\$ 4,121	\$ (2,029)	\$ 15,500	\$ 11,379	73%
PE03-4	Payroll Taxes - Mosquito Abatement	\$ 193	\$ 765	\$ 572			
PE06-4	Employee Wages - Mosquito Abatement	\$ 2,527	\$ 10,005	\$ 7,478			
PE03-6	Payroll Taxes - Wetlands	\$ -	\$ -	\$ -			
PE06-6	Employee Wages - Wetlands	\$ -	\$ -	\$ -			
	Total Mosquito Abatement	\$ 14,901	\$ 23,360	\$ 8,459	\$ 53,500	\$ 40,911	76%
	<i>Less: Distributed Payroll to Service Areas</i>	\$ (183,121)	\$ (200,185)	\$ (17,063)			
	TOTAL SERVICES & SUPPLIES	\$ 150,236	\$ 168,923	\$ 18,687	\$ 435,900	\$ 266,977	61%
PERSONNEL COSTS							
PE01	Worker Compensation Insurance	\$ -	\$ 864	\$ 864	\$ 12,700	\$ 11,836	93%
PE02	Health Insurance	\$ 30,824	\$ 25,956	\$ (4,868)	\$ 114,500	\$ 88,544	77%
PE03	Payroll Taxes	\$ 14,391	\$ 14,336	\$ (55)	\$ 46,300	\$ 31,964	69%
PE04	Processing Fees	\$ 564	\$ 873	\$ 309	\$ 1,800	\$ 927	52%
PE05	Directors Stipend	\$ -	\$ -	\$ -	\$ 6,000	\$ 6,000	100%
	Retirement	\$ -	\$ -	\$ -	\$ 6,000	\$ -	0%
PE06	Employee Wages	\$ 187,918	\$ 185,849	\$ (2,069)	\$ 578,300	\$ 392,451	68%
	TOTAL PERSONNEL COSTS	\$ 233,696	\$ 227,877	\$ (5,819)	\$ 765,600	\$ 531,723	69%
EQUIPMENT OUTLAY							
CO04	Trailer/Spray Rig/Tractor	\$ 19,614	\$ -	\$ (19,614)	\$ 5,000	\$ 5,000	100%
CO04	Concrete Grinder	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
CO04	Turfco Torrent Blower	\$ 11,537	\$ -	\$ (11,537)	\$ -	\$ -	#DIV/0!
CO04	Cart Replace - Honda Pioneer	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
CO04	Water Truck Transmission	\$ -	\$ 5,090	\$ 5,090	\$ 7,700	\$ 2,610	34%
CO04	New Turf Mower	\$ -	\$ -	\$ -	\$ 37,000	\$ 37,000	100%
CO10	Cart Replace - Honda Pioneer W/ Cab	\$ 25,587	\$ -	\$ (25,587)	\$ -	\$ -	#DIV/0!
	TOTAL EQUIPMENT OUTLAY	\$ 56,738	\$ 5,090	\$ (51,648)	\$ 49,700	\$ 39,610	80%
CAPITAL OUTLAY/STUDIES/ASSESEMENTS							
OE53-2	Landscape Design	\$ 6,894	\$ 3,367	\$ (3,527)	\$ -	\$ (3,367)	#DIV/0!
OE53-1	Landscape Improvements	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-4	Road Improvement (1)	\$ -	\$ -	\$ -	\$ 100,000	\$ 100,000	100%
OE51-1	Road Project Assessment & Design (Willdan)	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-2	Road Project Management	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-5	Road Improvements PHASE II	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-6	CM Services (Willdan)	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-7	Drainage Basin Repairs	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE51-8	Road Development Standards	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE54-1	Office Building Paint	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE54-2	Office Building Siding and Trim	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE54-3	Office Building Renovation	\$ -	\$ 96	\$ 96	\$ -	\$ (96)	#DIV/0!
OE54-4	Security	\$ 10,200	\$ -	\$ (10,200)	\$ 1,000	\$ 1,000	100%
TBD	General Engineering	\$ -	\$ -	\$ -	\$ 15,000	\$ -	0%
TBD	Gate Gontroller Replace and Security Upgrade	\$ -	\$ -	\$ -	\$ 34,200	\$ -	0%
TBD	Sidewalk Replacement	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000	100%
TBD	Mosquito Abatement Cargo Container	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!

COPPER VALLEY COMMUNITY SERVICES DISTRICT
 FY 2023-24 MONTHLY BUDGET REPORT ANALYSIS
 October 2023

	ACTUALS			BUDGET		
	Last Year July - Oct	This Year July - Oct	Variance Incl (Decr)	This year's BUDGET	\$ Budget Remaining	% Budget Remaining
EXPENDITURES						
TOTAL STUDIES & ASSESSMENTS	\$ 17,094	\$ 3,464	\$ (13,631)	\$ 300,200	\$ 97,536	32%
DEBT SERVICE						
OE20 John Deere Financing	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!
OE21 John Deere Financing	\$ 4,205	\$ 4,205	\$ -	\$ 12,616		0%
OE20-01 Interest Expense	\$ -	\$ -	\$ -			#DIV/0!
OE20-3 Series 2018 Installment Sale	\$ -	\$ -	\$ -			#DIV/0!
OE20-4 Phase 1 Road Improvements	\$ 41,071	\$ 41,076	\$ 5	\$ 81,722	\$ 40,646	50%
OE20-5 Phase 2 Road Improvements	\$ 57,857	\$ 57,865	\$ 8	\$ 115,160	\$ 57,295	50%
TOTAL DEBT SERVICE	\$ 103,133	\$ 103,146	\$ 13	\$ 209,498	\$ 97,941	47%
TOTAL EXPENSES	\$ 560,898	\$ 508,500	\$ (52,397)	\$ 1,760,898	\$ 1,033,787	59%

PAYMENTS AND ASSESSMENTS RECEIVED						
<u>Assessment Income</u>						
	Pymt No. 3: (5%) Aug 2022 (FY21)	\$ -	\$ -	\$ -	\$ 74,424	\$ 74,424
	Pymt No. 1: (55%) Feb 2023 (FY22)	\$ -	\$ -	\$ -	\$ 818,660	\$ 818,660
	Pymt No. 2: (40%) May 2023 (FY22)	\$ -	\$ -	\$ -	\$ 595,389	\$ 595,389
	Total Assessment Income	\$ -	\$ -	\$ -	\$ 1,488,473	\$ 1,488,473
<u>Reimbursement Income</u>						
	Total Reimbursement Income				\$ -	\$ -
<u>Other Income</u>						
IN03	Weed Abatement	\$ 75	\$ 2,100	\$ 2,025	\$ 5,100	\$ 3,000 59%
IN05	Investment Interest	\$ 558	\$ 24,486	\$ 23,928	\$ 48,000	\$ 23,514 49%
IN06	Interest - County	\$ 87	\$ 131	\$ 44	\$ 400	\$ 269 67%
IN30	Exp Reimbursement Income	\$ -	\$ -	\$ -	\$ -	\$ - #DIV/0!
IN41	Gate Opener Income	\$ 170	\$ 570	\$ 400	\$ 900	\$ 330 37%
IN59	Rebates	\$ 1,194	\$ -	\$ (1,194)	\$ 12,000	\$ 12,000 100%
IN70	Quail Creek Deposits	\$ -	\$ -	\$ -	\$ -	\$ - #DIV/0!
	Total Other Income	\$ 2,085	\$ 27,287	\$ 25,203	\$ -	\$ (27,287)
	TOTAL PAYMENTS & ASSESSMENTS	\$ 2,085	\$ 27,287	\$ 25,203	\$ 1,554,873	\$ 1,500,298
	Net Income	\$ (558,813)	\$ (481,213)	\$ 77,600	\$ (206,025)	\$ 275,188
<u>Other Financing Sources & Uses</u>						
	Budget Balance		\$ (481,213)		\$ -	

Copper Valley Community Services District

Balance Sheet

As of October 31, 2023

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
1000 Umpqua Bank Checking	133,351
1020 Cash - Fund 2188	-919
1040 Local Agency Investment Fund (LAIF)	109,389
1090 CA Class Savings	961,328
Total Bank Accounts	\$1,203,149
Total Current Assets	\$1,203,149
Fixed Assets	
1500 Capital Assets	
1501 Equipment	531,242
1503 Roads	4,377,023
1504 Easements	10,344,000
1505 Buildings	145,569
Total 1500 Capital Assets	15,397,834
1600 Accumulated Depreciation	
1601 Equipment	-402,791
1603 Roads	-1,254,845
1605 Buildings	-36,504
Total 1600 Accumulated Depreciation	-1,694,140
Total Fixed Assets	\$13,703,694
Other Assets	
1700 Receivable Other	139
1705 Amount Provided For LTD	982,761
Total Other Assets	\$982,900
TOTAL ASSETS	\$15,889,743
LIABILITIES AND EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
2000 Accounts Payable	25,227
Total Accounts Payable	\$25,227
Credit Cards	
2050 Umpqua CSDA Visa	14,127
Total Credit Cards	\$14,127
Other Current Liabilities	
2100 Payroll Taxes Payable	2,061
2150 Accrued Payroll	25,926
2200 Sales Tax Payable	0

Copper Valley Community Services District

Balance Sheet

As of October 31, 2023

	TOTAL
Total Other Current Liabilities	\$27,987
Total Current Liabilities	\$67,341
Long-Term Liabilities	
2500 Lease Payable - John Deere	19,049
2600 Series 2018 Installment Sale A	454,562
2601 Series 2018 Installment Sale B	1,251,567
Total Long-Term Liabilities	\$1,725,178
Total Liabilities	\$1,792,519
Equity	
3800 Developer Capital Contributions	12,198,796
3900 Fund Balance	827,102
3905 Net Investment in Capital Assets	1,552,539
Net Income	-481,213
Total Equity	\$14,097,224
TOTAL LIABILITIES AND EQUITY	\$15,889,743

Copper Valley Community Services District

1000 Umpqua Bank Checking, Period Ending 10/31/2023

RECONCILIATION REPORT

Reconciled on: 11/07/2023

Reconciled by: Ever Ventura

Any changes made to transactions after this date aren't included in this report.

	USD
Summary	
Statement beginning balance.....	133,162.92
Checks and payments cleared (51).....	-245,732.59
Deposits and other credits cleared (1).....	250,000.00
Statement ending balance.....	<u>137,430.33</u>
Uncleared transactions as of 10/31/2023.....	-4,754.00
Register balance as of 10/31/2023.....	132,676.33

Details

Checks and payments cleared (51)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
09/19/2023	Bill Payment	3151	Granite Peak Alarm	-447.00
09/26/2023	Bill Payment	3158	SDRMA-Workers Comp Autho...	-863.57
10/02/2023	Check	dm	John Deere Financial	-1,051.30
10/05/2023	Check	dm	Ralph M. McGeorge	-2,755.58
10/05/2023	Check	dm	Gregory Hebard	-2,666.74
10/05/2023	Check	dm	DAMON H WAITE	-1,528.75
10/05/2023	Check	dm	NICHOLAS B PATRICK	-1,535.19
10/05/2023	Check	dm	MATTHEW MOTTER	-1,448.39
10/05/2023	Check	dm	Mitchell McDonald	-779.40
10/05/2023	Check	dm	NICOLE D MC CUTCHEN	-300.00
10/05/2023	Check	dm	NICOLE D MC CUTCHEN	-2,636.46
10/05/2023	Check	dm	PETER J KAMPA	-2,544.22
10/05/2023	Check	dm	CHRIS JACOBS	-1,756.41
10/05/2023	Check	dm	Gregory Hebard	-400.00
10/11/2023	Check	dm	CA EDD	-1,045.64
10/12/2023	Check	dm	IRS	-5,408.73
10/17/2023	Bill Payment	3169	USBank Equipment Finance	-170.53
10/17/2023	Check	2571	FIRST FOUNDATION BANK	-57,865.01
10/17/2023	Check	2570	FIRST FOUNDATION BANK	-41,075.99
10/17/2023	Bill Payment	3174	The Golf Club at Copper Valley	-887.91
10/17/2023	Bill Payment	3173	The Golf Club at Copper Valley	-15,308.30
10/17/2023	Bill Payment	3172	Saddle Creek 2	-1,482.83
10/17/2023	Bill Payment	3171	Warmerdam CPA Group	-3,800.00
10/17/2023	Bill Payment	3170	VALLEY ENTRY SYSTEMS, I...	-34,911.71
10/17/2023	Bill Payment	3168	Turf Star, Inc.	-185.24
10/17/2023	Bill Payment	3167	SDRMA-Health Ins.	-7,786.80
10/17/2023	Bill Payment	3166	NBS	-1,080.50
10/17/2023	Bill Payment	3165	Mo-Cal Office Solutions, Inc	-91.90
10/17/2023	Bill Payment	3164	Jim Wilson Excavation	-11,562.00
10/17/2023	Bill Payment	3163	Granite Peak Alarm	-480.66
10/17/2023	Bill Payment	3162	Detail Commercial Cleaning L...	-1,400.00
10/17/2023	Bill Payment	3160	Aramark Uniform Service	-322.94
10/18/2023	Check	dm	CA EDD	-70.87
10/18/2023	Check	dm	Intuit Full Service Payroll	-147.00
10/20/2023	Check	dm	Ralph M. McGeorge	-2,755.58
10/20/2023	Check	dm	MATTHEW MOTTER	-1,448.41
10/20/2023	Check	dm	Mitchell McDonald	-1,463.48
10/20/2023	Check	dm	NICOLE D MC CUTCHEN	-2,748.90
10/20/2023	Check	dm	NICOLE D MC CUTCHEN	-300.00
10/20/2023	Check	dm	PETER J KAMPA	-2,544.21
10/20/2023	Check	dm	DAMON H WAITE	-1,528.75
10/20/2023	Check	dm	NICHOLAS B PATRICK	-1,535.16

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
10/20/2023	Check	dm	Maintenance Fee	-79.11
10/20/2023	Check	dm	Gregory Hebard	-400.00
10/20/2023	Check	dm	Gregory Hebard	-2,666.74
10/20/2023	Check	dm	CHRIS JACOBS	-1,718.15
10/24/2023	Check	dm	Overdraft Fee	-35.00
10/24/2023	Check	dm	CA EDD	-1,103.06
10/25/2023	Check	dm	IRS	-5,682.19
10/26/2023	Check	dm	Umpqua Bank Commerical CC	-13,548.33
10/27/2023	Check	dm	PG&E - 7193	-377.95
Total				-245,732.59

Deposits and other credits cleared (1)

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
10/25/2023	Check	dm	Transfer	250,000.00
Total				250,000.00

Additional Information

Uncleared checks and payments as of 10/31/2023

DATE	TYPE	REF NO.	PAYEE	AMOUNT (USD)
09/19/2023	Bill Payment	3147	AMCA (American Mosquito C...	-675.00
10/17/2023	Bill Payment	3159	Adventist Health - Sonora	-309.00
10/17/2023	Bill Payment	3161	Benchmark Engineering	-3,770.00
Total				-4,754.00

Copper Valley Community Services District

Transaction Report

October 2023

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	AMOUNT
Umpqua Bank Checking					
Beginning Balance					
10/02/2023	Check	dm	John Deere Financial		-1,051
10/05/2023	Check	dm	Mitchell McDonald	Pay Period: 9/16/23 - 9/30/23	-779
10/05/2023	Check	dm	MATTHEW MOTTER	Pay Period: 9/16/23 - 9/30/23	-1,448
10/05/2023	Check	dm	DAMON H WAITE	Pay Period: 9/16/23 - 9/30/23	-1,529
10/05/2023	Check	dm	NICHOLAS B PATRICK	Pay Period: 9/16/23 - 9/30/23	-1,535
10/05/2023	Check	dm	CHRIS JACOBS	Pay Period: 9/16/23 - 9/30/23	-1,756
10/05/2023	Check	dm	NICOLE D MC CUTCHEN	Pay Period: 9/16/23 - 9/30/23	-2,636
10/05/2023	Check	dm	Gregory Hebard	Pay Period: 9/16/23 - 9/30/23	-2,667
10/05/2023	Check	dm	Ralph M. McGeorge	Pay Period: 9/16/23 - 9/30/23	-2,756
10/05/2023	Check	dm	Gregory Hebard	Pay Period: 9/16/23 - 9/30/23	-400
10/05/2023	Check	dm	PETER J KAMPA	Pay Period: 9/16/23 - 9/30/23	-2,544
10/05/2023	Check	dm	NICOLE D MC CUTCHEN	Pay Period: 9/16/23 - 9/30/23	-300
10/11/2023	Check	dm	CA EDD		-1,046
10/12/2023	Check	dm	IRS		-5,409
10/17/2023	Bill Payment (Check)	3162	Detail Commercial Cleaning LLC	Invoice #048	-1,400
10/17/2023	Bill Payment (Check)	3172	Saddle Creek 2	Water Reimbursement 1/16/23 - 7/15/23	-1,483
10/17/2023	Bill Payment (Check)	3171	Warmerdam CPA Group	Client #3665	-3,800
10/17/2023	Bill Payment (Check)	3167	SDRMA-Health Ins.	Member #7174	-7,787
10/17/2023	Bill Payment (Check)	3164	Jim Wilson Excavation	Statments 3944, 3945, 3956, 3954	-11,562
10/17/2023	Bill Payment (Check)	3173	The Golf Club at Copper Valley	Water Bills 5/16/23 - 7/15/23	-15,308
10/17/2023	Bill Payment (Check)	3170	VALLEY ENTRY SYSTEMS, INC.	Invoice #43370, 43415, 43428	-34,912
10/17/2023	Bill Payment (Check)	3159	Adventist Health - Sonora	Acct #'s 31203445619 & 31203445618	-309
10/17/2023	Bill Payment (Check)	3161	Benchmark Engineering	Invoice #12556	-3,770
10/17/2023	Check	2570	FIRST FOUNDATION BANK		-41,076
10/17/2023	Check	2571	FIRST FOUNDATION BANK		-57,865
10/17/2023	Bill Payment (Check)	3166	NBS	Invoice #202309-2863	-1,081
10/17/2023	Bill Payment (Check)	3165	Mo-Cal Office Solutions, Inc	AR1003405	-92
10/17/2023	Bill Payment (Check)	3169	USBank Equipment Finance	Invoice #510090533	-171
10/17/2023	Bill Payment (Check)	3168	Turf Star, Inc.	Customer #35102374	-185
10/17/2023	Bill Payment (Check)	3160	Aramark Uniform Service	Acct #860084368	-323
10/17/2023	Bill Payment (Check)	3163	Granite Peak Alarm	Customer #0135	-481
10/17/2023	Bill Payment (Check)	3174	The Golf Club at Copper Valley	PG&E 5/10/23 - 7/10/23	-888
10/18/2023	Check	dm	Intuit Full Service Payroll		-147
10/18/2023	Check	dm	CA EDD		-71
10/20/2023	Check	dm	Gregory Hebard	Pay Period: 10/1/23 - 10/15/23	-2,667
10/20/2023	Check	dm	PETER J KAMPA	Pay Period: 10/1/23 - 10/15/23	-2,544
10/20/2023	Check	dm	CHRIS JACOBS	Pay Period: 10/1/23 - 10/15/23	-1,718
10/20/2023	Check	dm	NICHOLAS B PATRICK	Pay Period: 10/1/23 - 10/15/23	-1,535
10/20/2023	Check	dm	DAMON H WAITE	Pay Period: 10/1/23 - 10/15/23	-1,529
10/20/2023	Check	dm	NICOLE D MC CUTCHEN	Pay Period: 10/1/23 - 10/15/23	-2,749
10/20/2023	Check	dm	Ralph M. McGeorge	Pay Period: 10/1/23 - 10/15/23	-2,756
10/20/2023	Check	dm	Mitchell McDonald	Pay Period: 10/1/23 - 10/15/23	-1,463
10/20/2023	Check	dm	Maintenance Fee		-79
10/20/2023	Check	dm	NICOLE D MC CUTCHEN	Pay Period: 10/1/23 - 10/15/23	-300
10/20/2023	Check	dm	Gregory Hebard	Pay Period: 10/1/23 - 10/15/23	-400
10/20/2023	Check	dm	MATTHEW MOTTER	Pay Period: 10/1/23 - 10/15/23	-1,448
10/24/2023	Check	dm	CA EDD		-1,103
10/24/2023	Check	dm	Overdraft Fee		-35
10/25/2023	Check	dm	Transfer		250,000
10/25/2023	Check	dm	IRS		-5,682
10/26/2023	Check	dm	Umpqua Bank Commerical CC		-13,548
10/27/2023	Check	dm	PG&E - 7193		-378
Total for Umpqua Bank Checking					\$1,499
TOTAL					\$1,499

Copper Valley Community Services District

Transaction Report

October 2023

Copper Valley CSD
Quail Creek Summary

9/20/2021	CV Saddle Creek deposit	\$ 5,000.00
9/30/2021	Pete September Payroll Payroll (6 hrs)	(218.46)
9/30/2021	Nicole September Payroll (4 hrs)	(162.34)
9/30/2021	Greg September Payroll (1hr)	(48.32)
9/30/2021	Ralph September Payroll (1 hr)	(34.52)
10/12/2021	GL Gritz Engineering	(1,890.00)
10/31/2021	Nicole October Payroll (2 hrs)	(81.18)
10/31/2021	Nicole October Payroll (1 hrs)	(40.59)
11/10/2021	GL Gritz Engineering	(900.00)
11/30/2021	Nicole November Payroll (.5 hrs)	(20.30)
12/3/2021	CV Development deposit	3,000.00
12/15/2021	GL Gritz Engineering	(900.00)
8/9/2022	GL Gritz Engineering	(1,800.00)
9/20/2022	Nicole 9/20/22 4 hrs	(190.59)
4/10/2023	Benchmark Engineering	(875.00)
5/9/2023	Benchmark Engineering	(875.00)
8/15/2023	Benchmark Engineering	(700.00)
8/31/2023	Nicole October 2022 Payroll (2 hrs)	(95.29)
8/31/2023	Nicole November 2022 Payroll (6 hrs)	(285.88)
8/31/2023	Nicole December 2022 Payroll (1.5 hrs)	(71.47)
8/31/2023	Nicole January 2023 Payroll (4 hrs)	(190.58)
8/31/2023	Greg January 2023 Payroll (1 hr)	(51.46)
8/31/2023	Ralph January 2023 Payroll (2 Hr)	(74.95)
8/31/2023	Nicole February 2023 Payroll (1 Hr)	(47.65)
8/31/2023	Nicole March 2023 Payroll (5 Hrs)	(238.23)
8/31/2023	Nicole April 2023 Payroll (3 Hrs)	(142.94)
8/31/2023	Nicole May 2023 Payroll (1 Hr)	(47.65)
8/31/2023	Nicole June 2023 Payroll (2.5 Hrs)	(119.11)
8/31/2023	Greg June 2023 Payroll (1 hr)	(51.46)
8/31/2023	Ralph June 2023 Payroll (2 Hr)	(74.95)
8/31/2023	Nicole August 2023 Payroll (3 Hrs)	(149.91)
10/5/2023	Benchmark Engineering	(962.50)

\$ (3,340.31)

COPPER VALLEY COMMUNITY SERVICES DISTRICT			Quarterly Investment/Treasurer's Report					
			Government Funds					
2nd Quarter Balances @ October 31, 2023								
Cash Accounts	Acct #	Statement Interest Rate	YTD Interest October	General Investment	Road Reserve	Infrastructure Reserve	Equipment Reserves	Total by Investment
Umquoa Bank Operating Account	5048		-					133,351.33
LAIF	5-001		1,822.16					109,388.94
Calaveras Fund 2188	2188		130.93					(919.33)
CA Class	0035	5.55%	22,664.20	667,780.20	79,867.73	134,292.28	79,387.38	961,327.59
			24,617.29	667,780.20	79,867.73	134,292.28	79,387.38	1,203,148.53
YE June 30, 2024 YTD Interest Earned		July - Octobe \$ 24,617.29						
"I certify that the District investments have been made in accordance with the Investment Policy. I further certify that the District has adequate revenue to cover its operating expense for the next six months, in accordance with California Government Code Sections 53646 (b) (2) and (3) respectively."								
Name	<i>Peter J. Kampa</i>		Title	General Manager				



COPPER VALLEY COMMUNITY SERVICES DISTRICT
 Physical-1000 Saddle Creek Drive
 Copperopolis, CA 95228
 Mailing-PO Box 5158, Sonora CA 95370
 (209) 785-0100 – coppervalleycsd.org

DIRECTORS
 Darlene DeBaldo, President
 Roger Golden, Vice President
 Kenneth Albertson
 Rebecca Coleman
 Bob Vezina

BOARD OF DIRECTORS REGULAR MEETING MINUTES
 OCTOBER 17, 2023, 2:00 PM
 LOCATION: COPPER VALLEY SPORTS CENTER

Regular Board Meeting
 Oct 17, 2023, 2:00 – 4:00 PM

Please join my meeting from your computer, tablet or smartphone.
<https://meet.goto.com/210248205>

You can also dial in using your phone.
 Access Code: 210-248-205
 United States: +1 (571) 317-3122

Get the app now and be ready when your first meeting starts:
<https://meet.goto.com/install>

1. **CALL TO ORDER** - The Board will also consider approval of Board President Darlene DeBaldo’s remote meeting attendance due to Just Cause. **Meeting called to order @ 2:00pm**
2. **ROLL CALL** **Director Vezina, Director Coleman, President DeBaldo, Vice President Golden, Director Albertson, General Manger Kampa, Office Manager McCutchen, Site Manager Hebard**
3. **PLEDGE OF ALLEGIANCE**
4. **CHANGES TO ORDER OF AGENDA** **None**
5. **PUBLIC COMMENT** (Each speaker is limited to two (2) minutes)
6. **CONSENT CALENDAR**
 - a) Review of monthly financial report, approval of bills and claims for the month of September 2023.
 - b) Approval of the minutes from the Regular Board Meeting held September 19, 2023.

Motion made by Vice President Golden to accept the consent calendar for October, Director Vezina seconds, motion passed unanimously

7. **DISCUSSION AND ACTION ITEMS**
 - a) Consideration of a first reading of an Encroachment Ordinance that prohibits encroachment onto District easements, property and rights-of-way without a permit, and establishing the terms and conditions for the encroachment permit issuance
 - b) Review of implementation process and schedule for encroachment permits
 - c) Review of the District’s Miscellaneous Fee Schedule as it Relates to Encroachment Permits
 - d) Update of gate security system upgrade and Update on damage of security gate
8. **STAFF AND DIRECTOR REPORTS**
 - a) General Managers Report
 - b) Site Managers Report
9. **ADJOURNMENT @ 3:49pm**



BOARD MEETING AGENDA SUBMITTAL

TO: CVCSD Board of Directors
FROM: Peter Kampa, General Manager
DATE: November 21, 2023

7a) Adoption of a Resolution Approving an Encroachment Ordinance that prohibits encroachment onto District easements, property and rights-of-way without a permit

RECOMMENDED ACTION:

Staff recommends the following action:

I move to adopt the Resolution Approving an Encroachment Ordinance that prohibits encroachment onto District easements, property and rights-of-way without a permit

BACKGROUND:

The Board conducted a first reading of an encroachment ordinance on October 17, 2023 and provided minor language changes. A notice of public hearing was published as required in the Calaveras Enterprise on November 2, 2023; attached. During this meeting, the Board will conduct the second reading of the ordinance and hold a public hearing to receive comments on the ordinance. Following the public hearing, the Board will consider adopting the ordinance by resolution. The draft ordinance is attached hereto.

ORDINANCE NO. 2023 - 01

ORDINANCE OF THE BOARD OF DIRECTORS OF THE COPPER VALLEY COMMUNITY SERVICES DISTRICT PROHIBITING UNPERMITTED ENCROACHMENTS ON DISTRICT MAINTAINED ROADS, PROPERTY, AND INFRASTRUCTURE AND ESTABLISHING ENCROACHMENT PERMIT REQUIREMENTS FOR TEMPORARY ENCROACHMENTS

WHEREAS, the Copper Valley Community Services District (District) maintains the roads, storm drains, wetland easements, certain landscaped areas, and other infrastructure within the service area of the District (collectively, "District Infrastructure"); and

WHEREAS, the District Infrastructure exists and is maintained for the benefit of all residents of the District and should not be altered, damaged, incomed, or otherwise encroached upon without proper reason; and

WHEREAS, to allow for construction on and repair of private property adjacent to and served by the District Infrastructure, the District wishes to establish an encroachment permitting system to allow for temporary encroachments onto the District Infrastructure; and

WHEREAS, the District's purpose in issuing encroachment permits will be to ensure that work performed within and utilizing District Infrastructure shall be conducted safely and with as little disruption as possible, as well as to ensure that the District Infrastructure remains in good repair and to District's standards upon the conclusion of the permitted encroachments; and

WHEREAS, notice of this proposed Ordinance and Public Hearing was provided and was published in the Calaveras Enterprise on November 2, 2023; and

WHEREAS, this Ordinance was introduced by the Board of Directors at its meeting held on October 17, 2023; and

WHEREAS, the Board of Directors took second reading of this Ordinance at its regular meeting held on November 21, 2023.

NOW THEREFORE, THE BOARD OF DIRECTORS OF THE COPPER VALLEY COMMUNITY SERVICES ORDAINS AS FOLLOWS:

SECTION ONE: The recitals set forth above are true and correct and are hereby incorporated herein by this reference as if fully set forth in their entirety.

SECTION TWO: General Prohibition. It shall be unlawful to block, obstruct the use of, alter, construct, or perform work upon or within roads, storm drains, wetland easements, landscaped areas, and other infrastructure within the service area of the

District and maintained by the District (collectively, "District Infrastructure") without first obtaining an Encroachment Permit.

SECTION THREE: Construction Vehicles and Equipment. Prior to beginning construction on private property within the service area of the District that shall require construction vehicles or equipment to travel on District-maintained roads to access the private site for the purpose of performing new home construction work, installation of an in-ground pool, construction on new roads or public infrastructure, the owner of the property must obtain and Encroachment Permit from the District.

SECTION FOUR: Encroachment Permits. The General Manager of the District shall maintain and provide upon request an Encroachment Permit Application form. Applicants shall supply all information required by the Application form and all other documentation reasonably necessary for the District to issue permits and ensure safety and the protection of the District Infrastructure. Encroachment Permits shall be issued upon the approval of the District's General Manager and shall allow encroachment onto or within District Infrastructure for a temporary duration to be specified in the Encroachment Permit.

SECTION FIVE: Fees. Applicants for Encroachment Permits shall pay the then-applicable permitting and inspection fees, as established by the District through its Master Fee Schedule.

SECTION SIX: Standard Permit Conditions. As a standard condition of all Encroachment Permits issued by the District, whether or not explicitly stated on a permit, the permittee shall ensure that any District Infrastructure damaged or disturbed is returned to its prior or better condition to the satisfaction of the District. Any public utilities located within the public roadway would have to meet the District's standards for reconstruction of a public roadway. As a further standard condition of all Encroachment Permits, the permittee shall indemnify, defend, and hold harmless the District and its officers and agents against any and all claims of damage brought against the District and alleged to have been caused by work performed pursuant to or authorized by the Encroachment Permit.

SECTION SEVEN: Any violation of this Ordinance shall be an infraction. The District may also redress violations of this Ordinance by civil action. District shall be entitled to recover from violators of this Ordinance all fees and costs, including reasonable attorney's fees, upon prevailing in a civil action.

SECTION EIGHT: If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional or invalid, or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of the Ordinance or any part thereof. The Board of Directors hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, subdivisions,

paragraphs, sentences, clauses or phrases be declared unconstitutional or invalid or ineffective.

SECTION NINE: This Ordinance shall take effect and be in full force and effect thirty (30) days after its final passage.

SECTION TEN: The Clerk of the Board of Directors shall cause this Ordinance to be published within 15 days in accordance with California Government Code Section 25124.

* * * * *

Passed and adopted by the Copper Valley Community Services District Board of Directors at a regular meeting thereof held on the 21st day of November, 2023, by the following vote of the members thereof:

- AYES, and in favor thereof, Board members:
- NOES, Board members:
- ABSENT, Board members:
- ABSTAIN, Board members:

President of the Board

ATTEST:

Clerk of the Board

**Copper Valley CSD
Public Notice**

NOTICE OF PUBLIC HEARING REGARDING ADOPTION OF ORDINANCE NO. 2023-01 ORDINANCE OF THE BOARD OF DIRECTORS OF THE COPPER VALLEY COMMUNITY SERVICES DISTRICT PROHIBITING UNPERMITTED ENCROACHMENTS ON DISTRICT MAINTAINED ROADS, PROPERTY, AND INFRASTRUCTURE AND ESTABLISHING ENCROACHMENT PERMIT REQUIREMENTS FOR TEMPORARY ENCROACHMENTS NOTICE IS HEREBY GIVEN that on November 21st, 2023, the Board of Directors of the Copper Valley Community Services District (CVCS D) will hold a Public Hearing for any person to appear and be heard regarding the adoption of Ordinance NO. 2023-01. The public hearing will be held at Sports Fitness Center located at 1001 Saddle Creek Drive, located inside Copper Valley, as part of the regular meeting of the CVCS D Board at 2:00pm. Upon conclusion of the hearing the Board will consider approving Ordinance No. 2023-01. A copy of the ordinance will be available 5 days in advance of the meeting on the CVCS D website at www.coppervalleycsd.org or by calling 209.272.0957.

This space is for the County Clerk’s Filing Stamp

STATE OF CALIFORNIA,

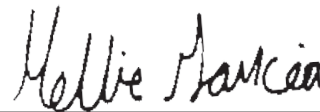
County of Calaveras.

I am a citizen of the United States and a resident of the county aforesaid; I am over the age of eighteen years and not a party to or interested in the above matter. I am the principal clerk of the printer of the Calaveras Enterprise, a newspaper of general circulation, printed weekly, in the City of San Andreas, California, County of Calaveras, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court, of the County of Calaveras, State of California; that the notice of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates; to-wit:

November 2, 2023CE

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated the 2nd of November, 2023CE



Signature – Hollie Garcia

**CALAVERAS
ENTERPRISE**

15 North Main Street
P.O. Box 1197, San Andreas, CA 95249-1197
(209) 754-3862 - FAX (209) 754-1805

PROOF OF PUBLICATION



BOARD MEETING AGENDA SUBMITTAL

TO: CVCSD Board of Directors
FROM: Peter Kampa, General Manager
DATE: November 21, 2023

7b) Review of NBS Annual Report Regarding Special Tax Collection and Expenditures

RECOMMENDED ACTION:

There is no action required

BACKGROUND:

Each year, the District is required by state law to file a report regarding the amount of special tax it collects and spends. Our tax consultant, NBS, has prepared the report for the 2022/23 fiscal year; attached.

CVCSD Board Meeting – November 21, 2023

COPPER VALLEY COMMUNITY SERVICES DISTRICT

Fiscal Year 2023/24 Annual Report For:

Measure A Special Tax

October 2023

Prepared by:



nbsgov.com

FISCAL YEAR 2023/24 LEVY SUMMARY

The Copper Valley Community Services District (the “District”) imposed the Measure A Special Tax (the “Special Tax”) following the special all-mail election held by the County of Calaveras on May 2, 2017. The Special Tax has been imposed to maintain District-owned facilities including but not limited to roadways, storm drains, landscaping, lighting, wildlife easements, entrance gate facilities, as well as funding weed and mosquito abatement, reserves, and administration. The Special Tax replaces the special tax levied for the same purposes previously approved by voters on May 23, 2000.

The Special Tax will be levied in perpetuity, unless and until such time the District determines that special tax revenues are no longer needed.

The following table provides a summary of the Fiscal Year 2023/24 final levy amount.

Description	Parcel Count	FY 2023/24 Levy
Residential Lot	560	\$1,172,169.60
Large Lot Undeveloped Property	11	235,334.72
Sports Club Property	1	2,477.84
Golf Course Property	1	78,490.42
Exempt	73	0.00
Totals:	646	\$1,488,472.58

NBS

Christine Drazil, Administrator
 Darrylanne Zarate, Project Manager
 Stephanie Parson, Client Services Director



SB 165: LOCAL AGENCY SPECIAL TAX AND BOND ACCOUNTABILITY ACT

Senate Bill 165, filed with the Secretary of State on September 19, 2000, enacted the Local Agency Special Tax and Bond Accountability Act (the “Act”). This Act requires that any local special tax or local bond measure subject to voter approval contain a statement indicating the specific purposes of the special tax, require that the proceeds of the special tax be applied to those purposes, require the creation of an account into which the proceeds shall be deposited, and require an annual report containing specified information concerning the use of the proceeds. The Act only applies to any local special tax measure or local bond measure adopted on or after January 1, 2001 in accordance with Section 50075.1 or Section 53410 of the California Government Code.

Some of the requirements of the Act are handled at the formation of the Special Tax District and others are handled through annual reports. This Section of this report intends to comply with Sections 50075.3 of the California Government Code that states:

“The chief fiscal officer of the issuing local agency shall file a report with its governing body no later than January 1, 2002, and at least once a year thereafter. The annual report shall contain all of the following:

1. The amount of funds collected and expended.
2. The status of any project required or authorized to be funded as identified in subdivision (a) of Sections 50075.1.”

The requirements of the Act apply to the Funds for the following:

Copper Valley Community Services District
Measure A Special Tax

Purpose of Special Tax

The Measure A Special Tax was established following the special all-mail election held on May 2, 2017 and was imposed to maintain Copper Valley Community Services District owned facilities including but not limited to roadways, storm drains, landscaping, lighting, wildlife easements, entrance gate facilities, as well as funding weed and mosquito abatement, reserves, and administration.

Collections and Expenditures

Fund Name	06/30/2022 Balance	Amount Collected	Amount Expended	06/30/2023 Balance
Measure A Special Tax Fund	\$68,238.72	\$1,420,327.50	\$1,416,767.12	\$71,799.10

FISCAL YEAR 2023/24 FINAL BILLING DETAIL REPORT

The following pages contain the Fiscal Year 2023/24 final billing detail amounts.



Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special Tax Rate	Grand Total
055-051-024-000	Large Lot Undeveloped	20.73	0.00	0	\$884.95	18,345.00
055-051-025-000	Large Lot Undeveloped	20.46	0.00	0	\$884.95	18,106.08
055-051-026-000	Large Lot Undeveloped	21.15	0.00	0	\$884.95	18,716.68
055-051-028-000	Large Lot Undeveloped	21.08	0.00	0	\$884.95	18,654.74
055-051-035-000	Large Lot Undeveloped	10.29	0.00	0	\$884.95	9,106.14
055-051-057-000	Large Lot Undeveloped	26.97	0.00	0	\$884.95	23,867.10
055-051-059-000	Large Lot Undeveloped	35.09	0.00	0	\$884.95	31,052.90
055-051-060-000	Large Lot Undeveloped	21.72	0.00	0	\$884.95	19,221.10
055-051-061-000	Large Lot Undeveloped	34.42	0.00	0	\$884.95	30,459.98
055-051-062-000	Large Lot Undeveloped	23.60	0.00	0	\$884.95	20,884.82
055-051-067-000	Golf Course Property Large Lot	203.96	1.00	0	\$78,490.43	78,490.42
055-051-068-000	Large Lot Undeveloped	30.42	0.00	0	\$884.95	26,920.18
055-052-001-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-052-002-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-052-003-000	Residential Lot	0.50	0.00	1	\$2,093.16	2,093.16
055-052-004-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-052-005-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-052-006-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-052-007-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-052-008-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-052-009-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-052-010-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-053-001-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-053-002-000	Residential Lot	0.61	0.00	1	\$2,093.16	2,093.16
055-053-003-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-053-004-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-053-005-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-053-006-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-053-007-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-053-008-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-053-009-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-053-010-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-053-011-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-054-001-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-054-002-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-054-003-000	Residential Lot	0.78	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-054-004-000	Residential Lot	0.81	0.00	1	\$2,093.16	2,093.16
055-054-005-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-054-006-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-054-007-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-055-001-000	Residential Lot	0.81	0.00	1	\$2,093.16	2,093.16
055-055-002-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-055-003-000	Residential Lot	0.52	0.00	1	\$2,093.16	2,093.16
055-055-004-000	Residential Lot	0.73	0.00	1	\$2,093.16	2,093.16
055-055-005-000	Residential Lot	0.65	0.00	1	\$2,093.16	2,093.16
055-055-006-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-055-007-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-055-008-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-056-001-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-056-002-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-056-003-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-056-004-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-056-005-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-056-006-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-056-007-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-056-008-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-056-009-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-056-010-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-056-011-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-056-012-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-056-013-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-056-014-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-057-001-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-057-002-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-057-003-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-057-004-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-057-005-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-057-006-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-057-007-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-057-008-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-057-009-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-057-010-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-058-001-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-058-002-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-058-003-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-058-004-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-058-005-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-058-006-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-058-009-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-058-010-000	Residential Lot	0.74	0.00	1	\$2,093.16	2,093.16
055-058-012-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-058-013-000	Residential Lot	0.82	0.00	1	\$2,093.16	2,093.16
055-059-001-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-059-002-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-059-003-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-059-004-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-059-005-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-059-006-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-059-007-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-059-008-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-059-009-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-059-010-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-059-011-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-059-012-000	Residential Lot	0.54	0.00	1	\$2,093.16	2,093.16
055-060-001-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-060-002-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-060-003-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-060-004-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-060-005-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-060-006-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-060-009-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-060-010-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-060-011-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-060-012-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-060-013-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-060-014-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-060-015-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-060-017-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-060-018-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-061-001-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-061-002-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-061-003-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-061-004-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-061-005-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-061-006-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-061-007-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-061-008-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-061-009-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-061-010-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-061-011-000	Residential Lot	0.54	0.00	1	\$2,093.16	2,093.16
055-061-012-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-061-013-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-061-014-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-061-015-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-061-016-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-062-002-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-062-003-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-062-004-000	Residential Lot	0.12	0.00	1	\$2,093.16	2,093.16
055-062-005-000	Residential Lot	0.12	0.00	1	\$2,093.16	2,093.16
055-062-006-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-062-007-000	Residential Lot	0.13	0.00	1	\$2,093.16	2,093.16
055-062-009-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-062-010-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-062-011-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-062-012-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-062-013-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-062-014-000	Residential Lot	0.13	0.00	1	\$2,093.16	2,093.16
055-062-017-000	Residential Lot	0.16	0.00	1	\$2,093.16	2,093.16
055-063-002-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-063-003-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-063-004-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-063-005-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-063-006-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-063-007-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-063-008-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-063-009-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-063-010-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-063-011-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-064-001-000	Residential Lot	0.17	0.00	1	\$2,093.16	2,093.16
055-064-002-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-064-003-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-064-004-000	Residential Lot	0.16	0.00	1	\$2,093.16	2,093.16
055-064-005-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-064-007-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-064-008-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-064-009-000	Residential Lot	0.16	0.00	1	\$2,093.16	2,093.16
055-064-010-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-064-011-000	Residential Lot	0.17	0.00	1	\$2,093.16	2,093.16
055-064-012-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	
					Tax Rate	Grand Total
055-064-013-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-065-001-000	Residential Lot	0.81	0.00	1	\$2,093.16	2,093.16
055-065-002-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-065-003-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-065-004-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-065-005-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-065-006-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-065-007-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-065-008-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-065-010-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-065-011-000	Residential Lot	0.42	0.00	1	\$2,093.16	2,093.16
055-065-012-000	Residential Lot	0.80	0.00	1	\$2,093.16	2,093.16
055-065-013-000	Residential Lot	0.86	0.00	1	\$2,093.16	2,093.16
055-065-014-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-065-015-000	Residential Lot	0.70	0.00	1	\$2,093.16	2,093.16
055-066-002-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-066-003-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-066-004-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-066-005-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-066-006-000	Residential Lot	0.57	0.00	1	\$2,093.16	2,093.16
055-066-007-000	Residential Lot	1.28	0.00	1	\$2,093.16	2,093.16
055-066-008-000	Residential Lot	1.38	0.00	1	\$2,093.16	2,093.16
055-066-009-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-066-010-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-066-011-000	Residential Lot	0.49	0.00	1	\$2,093.16	2,093.16
055-066-012-000	Residential Lot	0.63	0.00	1	\$2,093.16	2,093.16
055-066-013-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-066-014-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-066-015-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-066-016-000	Residential Lot	0.66	0.00	1	\$2,093.16	2,093.16
055-066-017-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-067-001-000	Residential Lot	0.60	0.00	1	\$2,093.16	2,093.16
055-067-002-000	Residential Lot	0.88	0.00	1	\$2,093.16	2,093.16
055-067-003-000	Residential Lot	0.55	0.00	1	\$2,093.16	2,093.16
055-067-004-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-067-005-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-067-006-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-067-007-000	Residential Lot	0.73	0.00	1	\$2,093.16	2,093.16
055-067-008-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-067-009-000	Residential Lot	0.83	0.00	1	\$2,093.16	2,093.16
055-067-010-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-067-011-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-067-012-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-068-001-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-068-002-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-068-003-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-068-004-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-068-005-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-068-006-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-068-007-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-068-008-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-068-009-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-068-010-000	Residential Lot	0.47	0.00	1	\$2,093.16	2,093.16
055-068-011-000	Residential Lot	0.50	0.00	1	\$2,093.16	2,093.16
055-068-012-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-069-001-000	Residential Lot	0.65	0.00	1	\$2,093.16	2,093.16
055-069-002-000	Residential Lot	0.50	0.00	1	\$2,093.16	2,093.16
055-069-003-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-069-004-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-069-005-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-069-006-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-069-007-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-069-008-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-069-009-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-069-011-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-069-012-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-069-013-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-069-014-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-069-015-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-069-016-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-069-017-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-069-018-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-070-001-000	Residential Lot	0.08	0.00	1	\$2,093.16	2,093.16
055-070-002-000	Residential Lot	0.08	0.00	1	\$2,093.16	2,093.16
055-070-003-000	Residential Lot	0.09	0.00	1	\$2,093.16	2,093.16
055-070-004-000	Residential Lot	0.09	0.00	1	\$2,093.16	2,093.16
055-070-005-000	Residential Lot	0.10	0.00	1	\$2,093.16	2,093.16
055-070-006-000	Residential Lot	0.11	0.00	1	\$2,093.16	2,093.16
055-070-007-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-070-008-000	Residential Lot	0.13	0.00	1	\$2,093.16	2,093.16
055-070-009-000	Residential Lot	0.12	0.00	1	\$2,093.16	2,093.16
055-070-010-000	Residential Lot	0.11	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-071-001-000	Residential Lot	0.10	0.00	1	\$2,093.16	2,093.16
055-071-002-000	Residential Lot	0.13	0.00	1	\$2,093.16	2,093.16
055-071-003-000	Residential Lot	0.12	0.00	1	\$2,093.16	2,093.16
055-071-004-000	Residential Lot	0.08	0.00	1	\$2,093.16	2,093.16
055-071-005-000	Residential Lot	0.08	0.00	1	\$2,093.16	2,093.16
055-071-006-000	Residential Lot	0.10	0.00	1	\$2,093.16	2,093.16
055-071-007-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-072-001-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-072-002-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-072-003-000	Residential Lot	0.49	0.00	1	\$2,093.16	2,093.16
055-072-004-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-072-005-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-072-006-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-073-001-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-073-002-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-073-005-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-073-006-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-073-009-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-074-001-000	Residential Lot	0.48	0.00	1	\$2,093.16	2,093.16
055-074-002-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-074-003-000	Residential Lot	0.66	0.00	1	\$2,093.16	2,093.16
055-074-004-000	Residential Lot	0.97	0.00	1	\$2,093.16	2,093.16
055-074-005-000	Residential Lot	1.01	0.00	1	\$2,093.16	2,093.16
055-074-006-000	Residential Lot	0.51	0.00	1	\$2,093.16	2,093.16
055-074-007-000	Residential Lot	0.70	0.00	1	\$2,093.16	2,093.16
055-074-008-000	Residential Lot	0.86	0.00	1	\$2,093.16	2,093.16
055-074-009-000	Residential Lot	0.72	0.00	1	\$2,093.16	2,093.16
055-074-010-000	Residential Lot	0.72	0.00	1	\$2,093.16	2,093.16
055-074-011-000	Residential Lot	0.47	0.00	1	\$2,093.16	2,093.16
055-074-012-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-075-001-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-075-002-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-075-003-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-075-004-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-075-005-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-075-006-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-075-007-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-075-008-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-075-009-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-075-010-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-075-011-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-075-012-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-075-013-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-075-014-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-075-015-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-075-016-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-075-017-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-075-018-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-076-001-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-076-002-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-076-003-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-076-004-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-076-005-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-076-006-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-076-007-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-008-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-009-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-010-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-011-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-076-012-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-076-013-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-014-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-076-015-000	Residential Lot	0.19	0.00	1	\$2,093.16	2,093.16
055-076-016-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-017-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-076-018-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-076-019-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-076-020-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-076-021-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-077-001-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-077-002-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-077-005-000	Residential Lot	0.48	0.00	1	\$2,093.16	2,093.16
055-077-006-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-077-007-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-077-008-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-077-009-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-077-010-000	Sports Club Property	3.15	0.00	0	\$786.62	2,477.84
055-078-001-000	Residential Lot	0.93	0.00	1	\$2,093.16	2,093.16
055-078-002-000	Residential Lot	0.85	0.00	1	\$2,093.16	2,093.16
055-078-003-000	Residential Lot	0.99	0.00	1	\$2,093.16	2,093.16
055-078-004-000	Residential Lot	1.00	0.00	1	\$2,093.16	2,093.16
055-078-005-000	Residential Lot	1.02	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-078-006-000	Residential Lot	0.98	0.00	1	\$2,093.16	2,093.16
055-078-007-000	Residential Lot	1.17	0.00	1	\$2,093.16	2,093.16
055-078-008-000	Residential Lot	1.19	0.00	1	\$2,093.16	2,093.16
055-078-009-000	Residential Lot	1.12	0.00	1	\$2,093.16	2,093.16
055-078-010-000	Residential Lot	1.03	0.00	1	\$2,093.16	2,093.16
055-078-011-000	Residential Lot	0.98	0.00	1	\$2,093.16	2,093.16
055-078-012-000	Residential Lot	1.03	0.00	1	\$2,093.16	2,093.16
055-078-013-000	Residential Lot	1.07	0.00	1	\$2,093.16	2,093.16
055-078-014-000	Residential Lot	0.83	0.00	1	\$2,093.16	2,093.16
055-078-015-000	Residential Lot	1.06	0.00	1	\$2,093.16	2,093.16
055-078-016-000	Residential Lot	0.91	0.00	1	\$2,093.16	2,093.16
055-078-017-000	Residential Lot	0.94	0.00	1	\$2,093.16	2,093.16
055-079-001-000	Residential Lot	0.17	0.00	1	\$2,093.16	2,093.16
055-079-002-000	Residential Lot	0.16	0.00	1	\$2,093.16	2,093.16
055-079-003-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-079-004-000	Residential Lot	0.18	0.00	1	\$2,093.16	2,093.16
055-079-005-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-079-006-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-079-007-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-079-008-000	Residential Lot	0.16	0.00	1	\$2,093.16	2,093.16
055-079-009-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-010-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-011-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-079-012-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-013-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-014-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-079-015-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-016-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-017-000	Residential Lot	0.20	0.00	1	\$2,093.16	2,093.16
055-079-018-000	Residential Lot	0.17	0.00	1	\$2,093.16	2,093.16
055-079-019-000	Residential Lot	0.15	0.00	1	\$2,093.16	2,093.16
055-079-020-000	Residential Lot	0.14	0.00	1	\$2,093.16	2,093.16
055-079-021-000	Residential Lot	0.17	0.00	1	\$2,093.16	2,093.16
055-081-001-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-081-002-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-081-003-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-081-004-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-081-005-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-081-006-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-081-007-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-081-008-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-081-009-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-081-010-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-081-011-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-081-012-000	Residential Lot	0.23	0.00	1	\$2,093.16	2,093.16
055-081-013-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-081-014-000	Residential Lot	0.21	0.00	1	\$2,093.16	2,093.16
055-081-015-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-081-016-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-081-017-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16
055-081-018-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-082-001-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-082-002-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-082-003-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-082-004-000	Residential Lot	0.74	0.00	1	\$2,093.16	2,093.16
055-082-005-000	Residential Lot	1.02	0.00	1	\$2,093.16	2,093.16
055-082-006-000	Residential Lot	0.70	0.00	1	\$2,093.16	2,093.16
055-082-007-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-082-008-000	Residential Lot	0.62	0.00	1	\$2,093.16	2,093.16
055-083-001-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-083-002-000	Residential Lot	0.42	0.00	1	\$2,093.16	2,093.16
055-083-003-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-083-004-000	Residential Lot	0.64	0.00	1	\$2,093.16	2,093.16
055-083-005-000	Residential Lot	0.50	0.00	1	\$2,093.16	2,093.16
055-083-006-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-083-008-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-083-009-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-083-010-000	Residential Lot	0.59	0.00	1	\$2,093.16	2,093.16
055-083-013-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-083-014-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-083-015-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-083-016-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-083-017-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-083-018-000	Residential Lot	0.42	0.00	1	\$2,093.16	2,093.16
055-083-019-000	Residential Lot	0.48	0.00	1	\$2,093.16	2,093.16
055-083-020-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-083-021-000	Residential Lot	0.48	0.00	1	\$2,093.16	2,093.16
055-083-022-000	Residential Lot	0.49	0.00	1	\$2,093.16	2,093.16
055-083-023-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-083-026-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-084-001-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-084-002-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-084-003-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-084-004-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-084-005-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-084-006-000	Residential Lot	0.67	0.00	1	\$2,093.16	2,093.16
055-084-007-000	Residential Lot	0.95	0.00	1	\$2,093.16	2,093.16
055-084-008-000	Residential Lot	0.49	0.00	1	\$2,093.16	2,093.16
055-084-009-000	Residential Lot	0.86	0.00	1	\$2,093.16	2,093.16
055-084-011-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-084-012-000	Residential Lot	0.49	0.00	1	\$2,093.16	2,093.16
055-084-013-000	Residential Lot	0.53	0.00	1	\$2,093.16	2,093.16
055-084-014-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-084-015-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-084-016-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-084-017-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-084-018-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-084-019-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-084-022-000	Residential Lot	1.01	0.00	1	\$2,093.16	2,093.16
055-084-023-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-084-024-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-084-025-000	Residential Lot	0.42	0.00	1	\$2,093.16	2,093.16
055-084-026-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-084-027-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-084-028-000	Residential Lot	0.51	0.00	1	\$2,093.16	2,093.16
055-085-001-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-085-002-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-085-003-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-085-004-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-085-005-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-085-006-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-085-007-000	Residential Lot	0.29	0.00	1	\$2,093.16	2,093.16
055-085-008-000	Residential Lot	0.27	0.00	1	\$2,093.16	2,093.16
055-085-009-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-085-010-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-085-011-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-085-012-000	Residential Lot	0.26	0.00	1	\$2,093.16	2,093.16
055-085-013-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-085-014-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-085-015-000	Residential Lot	0.22	0.00	1	\$2,093.16	2,093.16
055-085-018-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-085-019-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16
055-085-020-000	Residential Lot	0.25	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special		Grand Total
					Tax Rate		
055-085-021-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-085-022-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-085-023-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-001-000	Residential Lot	0.24	0.00	1	\$2,093.16		2,093.16
055-086-002-000	Residential Lot	0.31	0.00	1	\$2,093.16		2,093.16
055-086-003-000	Residential Lot	0.32	0.00	1	\$2,093.16		2,093.16
055-086-004-000	Residential Lot	0.30	0.00	1	\$2,093.16		2,093.16
055-086-005-000	Residential Lot	0.29	0.00	1	\$2,093.16		2,093.16
055-086-006-000	Residential Lot	0.27	0.00	1	\$2,093.16		2,093.16
055-086-007-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-008-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-009-000	Residential Lot	0.25	0.00	1	\$2,093.16		2,093.16
055-086-010-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-011-000	Residential Lot	0.25	0.00	1	\$2,093.16		2,093.16
055-086-012-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-013-000	Residential Lot	0.25	0.00	1	\$2,093.16		2,093.16
055-086-014-000	Residential Lot	0.23	0.00	1	\$2,093.16		2,093.16
055-086-015-000	Residential Lot	0.24	0.00	1	\$2,093.16		2,093.16
055-086-016-000	Residential Lot	0.29	0.00	1	\$2,093.16		2,093.16
055-086-017-000	Residential Lot	0.31	0.00	1	\$2,093.16		2,093.16
055-086-018-000	Residential Lot	0.30	0.00	1	\$2,093.16		2,093.16
055-086-019-000	Residential Lot	0.31	0.00	1	\$2,093.16		2,093.16
055-086-020-000	Residential Lot	0.29	0.00	1	\$2,093.16		2,093.16
055-086-021-000	Residential Lot	0.28	0.00	1	\$2,093.16		2,093.16
055-087-001-000	Residential Lot	0.57	0.00	1	\$2,093.16		2,093.16
055-087-003-000	Residential Lot	0.70	0.00	1	\$2,093.16		2,093.16
055-087-004-000	Residential Lot	0.53	0.00	1	\$2,093.16		2,093.16
055-087-005-000	Residential Lot	0.51	0.00	1	\$2,093.16		2,093.16
055-087-006-000	Residential Lot	0.43	0.00	1	\$2,093.16		2,093.16
055-087-007-000	Residential Lot	0.47	0.00	1	\$2,093.16		2,093.16
055-087-008-000	Residential Lot	0.43	0.00	1	\$2,093.16		2,093.16
055-088-001-000	Residential Lot	1.10	0.00	1	\$2,093.16		2,093.16
055-088-002-000	Residential Lot	2.51	0.00	1	\$2,093.16		2,093.16
055-088-003-000	Residential Lot	0.53	0.00	1	\$2,093.16		2,093.16
055-088-004-000	Residential Lot	0.61	0.00	1	\$2,093.16		2,093.16
055-088-005-000	Residential Lot	0.57	0.00	1	\$2,093.16		2,093.16
055-088-006-000	Residential Lot	0.61	0.00	1	\$2,093.16		2,093.16
055-088-007-000	Residential Lot	0.54	0.00	1	\$2,093.16		2,093.16
055-088-008-000	Residential Lot	0.57	0.00	1	\$2,093.16		2,093.16
055-088-009-000	Residential Lot	0.46	0.00	1	\$2,093.16		2,093.16
055-088-010-000	Residential Lot	0.50	0.00	1	\$2,093.16		2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-088-011-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-088-012-000	Residential Lot	0.47	0.00	1	\$2,093.16	2,093.16
055-088-013-000	Residential Lot	0.54	0.00	1	\$2,093.16	2,093.16
055-088-015-000	Residential Lot	1.36	0.00	1	\$2,093.16	2,093.16
055-089-001-000	Residential Lot	0.88	0.00	1	\$2,093.16	2,093.16
055-089-002-000	Residential Lot	0.82	0.00	1	\$2,093.16	2,093.16
055-089-003-000	Residential Lot	0.74	0.00	1	\$2,093.16	2,093.16
055-089-004-000	Residential Lot	0.74	0.00	1	\$2,093.16	2,093.16
055-089-005-000	Residential Lot	0.75	0.00	1	\$2,093.16	2,093.16
055-089-006-000	Residential Lot	0.66	0.00	1	\$2,093.16	2,093.16
055-089-007-000	Residential Lot	0.74	0.00	1	\$2,093.16	2,093.16
055-089-008-000	Residential Lot	0.75	0.00	1	\$2,093.16	2,093.16
055-089-009-000	Residential Lot	0.65	0.00	1	\$2,093.16	2,093.16
055-089-010-000	Residential Lot	1.62	0.00	1	\$2,093.16	2,093.16
055-089-012-000	Residential Lot	0.78	0.00	1	\$2,093.16	2,093.16
055-089-013-000	Residential Lot	0.72	0.00	1	\$2,093.16	2,093.16
055-089-014-000	Residential Lot	0.70	0.00	1	\$2,093.16	2,093.16
055-089-015-000	Residential Lot	0.68	0.00	1	\$2,093.16	2,093.16
055-089-016-000	Residential Lot	0.64	0.00	1	\$2,093.16	2,093.16
055-090-001-000	Residential Lot	0.64	0.00	1	\$2,093.16	2,093.16
055-090-002-000	Residential Lot	0.58	0.00	1	\$2,093.16	2,093.16
055-090-003-000	Residential Lot	0.66	0.00	1	\$2,093.16	2,093.16
055-090-004-000	Residential Lot	0.50	0.00	1	\$2,093.16	2,093.16
055-090-005-000	Residential Lot	0.55	0.00	1	\$2,093.16	2,093.16
055-090-006-000	Residential Lot	0.95	0.00	1	\$2,093.16	2,093.16
055-090-007-000	Residential Lot	1.30	0.00	1	\$2,093.16	2,093.16
055-090-008-000	Residential Lot	1.40	0.00	1	\$2,093.16	2,093.16
055-090-009-000	Residential Lot	1.44	0.00	1	\$2,093.16	2,093.16
055-090-010-000	Residential Lot	1.71	0.00	1	\$2,093.16	2,093.16
055-090-011-000	Residential Lot	0.89	0.00	1	\$2,093.16	2,093.16
055-090-012-000	Residential Lot	0.84	0.00	1	\$2,093.16	2,093.16
055-091-002-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-091-003-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-091-004-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-091-005-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-091-006-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-091-007-000	Residential Lot	0.52	0.00	1	\$2,093.16	2,093.16
055-091-008-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-091-009-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-091-010-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-091-011-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special	Grand Total
					Tax Rate	
055-091-012-000	Residential Lot	0.32	0.00	1	\$2,093.16	2,093.16
055-091-013-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-092-001-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-092-002-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-092-003-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-092-004-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-092-005-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-006-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-092-007-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-092-008-000	Residential Lot	0.45	0.00	1	\$2,093.16	2,093.16
055-092-009-000	Residential Lot	0.69	0.00	1	\$2,093.16	2,093.16
055-092-011-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-092-012-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-092-013-000	Residential Lot	0.56	0.00	1	\$2,093.16	2,093.16
055-092-014-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-092-015-000	Residential Lot	0.44	0.00	1	\$2,093.16	2,093.16
055-092-016-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-092-017-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-018-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-019-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-020-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-021-000	Residential Lot	0.41	0.00	1	\$2,093.16	2,093.16
055-092-022-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-092-023-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-092-024-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-093-001-000	Residential Lot	0.39	0.00	1	\$2,093.16	2,093.16
055-093-002-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
055-093-003-000	Residential Lot	0.51	0.00	1	\$2,093.16	2,093.16
055-093-004-000	Residential Lot	0.52	0.00	1	\$2,093.16	2,093.16
055-093-005-000	Residential Lot	0.38	0.00	1	\$2,093.16	2,093.16
055-093-006-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-093-007-000	Residential Lot	0.34	0.00	1	\$2,093.16	2,093.16
055-093-008-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-093-009-000	Residential Lot	0.35	0.00	1	\$2,093.16	2,093.16
055-093-010-000	Residential Lot	0.31	0.00	1	\$2,093.16	2,093.16
055-093-011-000	Residential Lot	0.33	0.00	1	\$2,093.16	2,093.16
055-093-012-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-093-013-000	Residential Lot	0.36	0.00	1	\$2,093.16	2,093.16
055-093-014-000	Residential Lot	0.46	0.00	1	\$2,093.16	2,093.16
055-093-015-000	Residential Lot	0.37	0.00	1	\$2,093.16	2,093.16
055-093-016-000	Residential Lot	0.30	0.00	1	\$2,093.16	2,093.16

Slight variances may occur due to rounding

Copper Valley Community Services District
Copper Valley CSD Measure A Special Tax
Final Billing Detail Report for Fiscal Year 2023/24

Account ID	Property Type	Acre	Unit	Lot	Maximum Special Tax Rate	Grand Total
055-093-017-000	Residential Lot	0.24	0.00	1	\$2,093.16	2,093.16
055-093-018-000	Residential Lot	0.28	0.00	1	\$2,093.16	2,093.16
055-093-020-000	Residential Lot	0.40	0.00	1	\$2,093.16	2,093.16
055-093-021-000	Residential Lot	0.43	0.00	1	\$2,093.16	2,093.16
573 Accounts		705.53	1.00	560	\$1,261,181.10	\$1,488,472.58



BOARD MEETING AGENDA SUBMITTAL

TO: CVCS District Board of Directors

FROM: Peter Kampa, General Manager

DATE: November 21, 2023

SUBJECT: 7d) Adoption of a Resolution Approving and Authorizing Public Bidding of the 2023 Sidewalk Replacement Project

RECOMMENDED ACTION:

Staff recommends the following action:

I move to adopt a Resolution Approving and Authorizing Public Bidding of the 2023 Sidewalk Replacement Project

BACKGROUND:

As directed by the Board and included in the 2023/24 fiscal year budget, staff has directed the preparation of construction plans and specifications for the replacement of failed sidewalks, curbs and sealing of roadway cracks per our pavement maintenance plan. Our District Engineer has prepared draft final plans and specifications for the project, which are currently under review by District staff. The draft plans are included in these agenda materials for your information, as is the Engineer's estimate of probable costs.

The purpose of this recommended Board action is to authorize staff to finalize the project plans and proceed with the public bidding process. The 2023/24 budget contained a \$250,000 allocation for capital road and sidewalk improvements, however this budget amount was not based on an engineer's estimate. You will find the engineer's estimate attached, with an estimated cost of \$372,034.30. This estimate does not include construction management and inspection costs, which we expect to not exceed \$20,000. Although the estimated costs exceed the budget, we have approximately \$250,000 remaining in the 2020 loan funds and additional funds exist to complete a project costing up to \$425,000 with contingencies and engineering.

RESOLUTION -2023

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE COPPER VALLEY COMMUNITY SERVICES DISTRICT APPROVING THE DESIGN AND CONSTRUCTION PLANS FOR THE COPPER VALLEY COMMUNITY SERVICES SIDEWALK REHABILITATION PROJECT AND AUTHORIZING THE GENERAL MANAGER TO PROCEED WITH PUBLIC BIDDING

WHEREAS, the Copper Valley Community Services District (herein referred to as District) is a local government agency formed and operating in accordance with Section §61000 et seq. of the California Government Code; and

WHEREAS, the District has the responsibility to maintain the sidewalks with in the District; and

WHEREAS, the Board has Directed the General Manger to secure the Sidewalk Rehabilitation design with Benchmark Engineering; and

WHEREAS, the Copper Valley Community Services District Sidewalk Improvement design and construction plans have been completed for the proposed improvements (Project).

NOW THEREFORE BE IT RESOLVED THAT THE BOARD OF DIRECTORS OF THE COPPER VALLEY COMMUNITY SERVICES DISTRICT DOES HEREBY approve as follows:

1. Approve the scope of work identified in the Project plans.
2. Authorize Staff to solicit bids for the Project.

WHEREFORE, this Resolution is passed and adopted by the Board of Directors of the Copper Valley Community Services District on November 21, 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVE:

Darlene DeBaldo , Board President

ATTEST:

Peter Kampa, Board Secretary

CERTIFICATE OF SECRETARY

I, Peter Kampa, the duly appointed and acting Secretary of the Board of Directors of the Copper Valley Community Services District, do hereby declare that the foregoing Resolution was duly passed and adopted at a Regular Meeting of the Board of Directors of the Copper Valley Community Services District, duly called and held on November 21, 2023.

DATED: _____



CIVIL ENGINEERING & LAND SURVEYING

4265 Spyres Way, Suite A Modesto, CA 95356 • 209.548.9300

**ENGINEER'S OPINION OF PROBABLE COST
FOR
SIDEWALK REHABILITATION 23-003
COPPEROPOLIS, CALIFORNIA
JOB NO. 254104
OCTOBER 24, 2023**

ITEM	DESCRIPTION	UNIT	QUAN.	UNIT PRICE	AMOUNT
A. SITE PREPERATION					
1.	MOBILIZATION	LS	1	\$10,000.00	\$10,000.00
2.	SAWCUT & REMOVE EXISTING CONCRETE	SF	16,416	\$10.00	\$164,160.00
3.	REMOVE EXISTING CURB & GUTTER	LF	265	\$30.00	\$7,950.00

				SUB-TOTAL	\$182,110.00
B. CONCRETE					
1.	6" VERTICAL CURB & GUTTER	LF	259	\$25.00	\$6,475.00
2.	4" THICK CONCRETE SIDEWALK (INCL. RAMPS)	SF	16,266	\$8.00	\$130,128.00
3.	6" THICK CONCRETE SIDEWALK (INCL. REBAR)	SF	150	\$12.00	\$1,800.00
4.	ACCESSIBLE RAMP (LABOR ONLY)	EA	11	\$700.00	\$7,700.00
5.	TRUNCATED DOMES	EA	10	\$1,000.00	\$10,000.00

				SUB-TOTAL	\$156,103.00
				CONSTRUCTION TOTAL=====	\$338,213.00
				10% CONTINGENCY=====	\$33,821.30
				GRAND TOTAL=====	\$372,034.30

PREPARED BY MR
REVIEWED BY RM

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THE TRUE MEANING AND INTENTION AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

1. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

2. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

3. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND, THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF CALIFORNIA UNDER THE PROVISIONS OF CHAPTER 9, DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

6. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGEMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

7. ALL STATIONS REFER TO DISTANCES ALONG STREET CENTERLINE, UNLESS OTHERWISE NOTED. ALL STATIONS OFF CENTERLINE ARE PERPENDICULAR TO OR RADIIALLY OPPOSITE CENTERLINE STATIONS.

8. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

9. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

10. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

11. THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER AND AS DIRECTED BY THE CITY.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FROM THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING USA AND REINSPECTIONS AT THEIR OWN EXPENSE.

COPPER VALLEY COMMUNITY SERVICES

SIDEWALK REHABILITATION

23-003

COPPEROPOLIS, CALIFORNIA



VICINITY MAP
NTS

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ABBREVIATION LIST			
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AB	AGGREGATE BASE	MH	MANHOLE
AC	ASPHALT CONCRETE	MN	MINIMUM
ARV	AIR RELEASE VALVE	(N)	NOT TO SCALE
AN	ANGLE	NTS	NOT TO SCALE
AP	ANGLE POINT	OFF	OFFSET
BC	BEGINNING OF CURVE	OG	ORIGINAL GROUND / GRADE
BOUND	BOUNDARY	PP	POWER POLE
BME	BENCHMARK ENGINEERING, INC.	PL	PROPERTY LINE
BSRL	BUILDING SETBACK LINE	PRC	POINT OF REVERSE CURVATURE
BW	BOTTOM OF WALL	PT	POINT
C/G	CURB AND GUTTER	PFE	PUBLIC FACILITIES EASEMENT
CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	RCP	REINFORCED CONCRETE PIPE
CO	CLEAN OUT	RET	RETURN
CONC	CONCRETE	R	RADIUS
CB	CATCH BASIN	R/W OR ROW	RIGHT OF WAY
DET	DETAIL	RV	RESISTANCE VALVE
DI	DRAIN INLET	SD	STORM DRAIN
DIA	DIAMETER	SHI	SHEET
DIP	DUCTILE IRON PIPE	SH/S	STREET NAME SIGN
DD	DRIVEWAY	STA	STATION
DW	END OF CURVE	STD	STANDARD
EL	ELECTROLIER	SW	SIDEWALK
EP	EDGE OF PAVEMENT	SS	SEWER SERVICE
ELEV	ELEVATION	S	SEWER
ESMT	EASEMENT	TC	TOP OF CURB
EX OR EXIST	EXISTING	TEMP	TEMPORARY
FG	FINISH GRADE	THRU	THROUGH
FH	FIRE HYDRANT	TI	TRAFFIC INDEX
FL	FLOW LINE	TW	TOP OF WALL
GB	GRADE BREAK	TPE	TREE PLANTING EASEMENT
GS	GROUND SHOT	TPP	TYPICAL
HORIZ	HORIZONTAL	UOM	UNLESS OTHERWISE NOTED
HP	HIGH POINT	VERT	VERTICAL
IRR	IRRIGATION	VCP	VITRIFIED CLAY PIPE
INV	INVERT	VC	VERTICAL CURB
LF	LINEAL FEET OR LINEAR FEET	VG	VALLEY GUTTER
LP	LOW POINT	W	WATER SERVICE
MAX	MAXIMUM	WT	WATT
		±	PLUS OR MINUS (NOT EXACT)

DATE: _____	APPROVED: _____
REVISIONS	DATE
NO	DESCRIPTIONS

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 915 17th STREET • MODESTO, CALIFORNIA • 95354
 (209) 548-9300

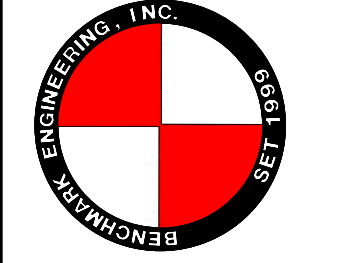
COVER SHEET

IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPEROPOLIS, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

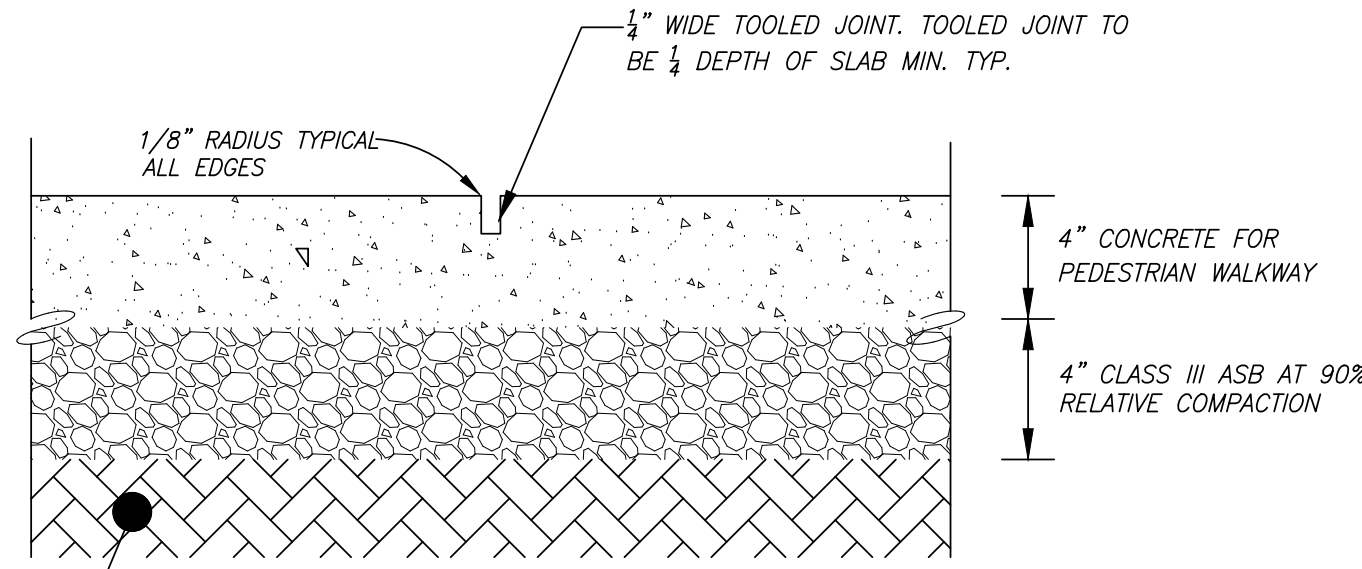
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1
 OF 22 SHEETS

DATE: _____
 REVISIONS: _____
 NO. DESCRIPTIONS DATE APPROVED

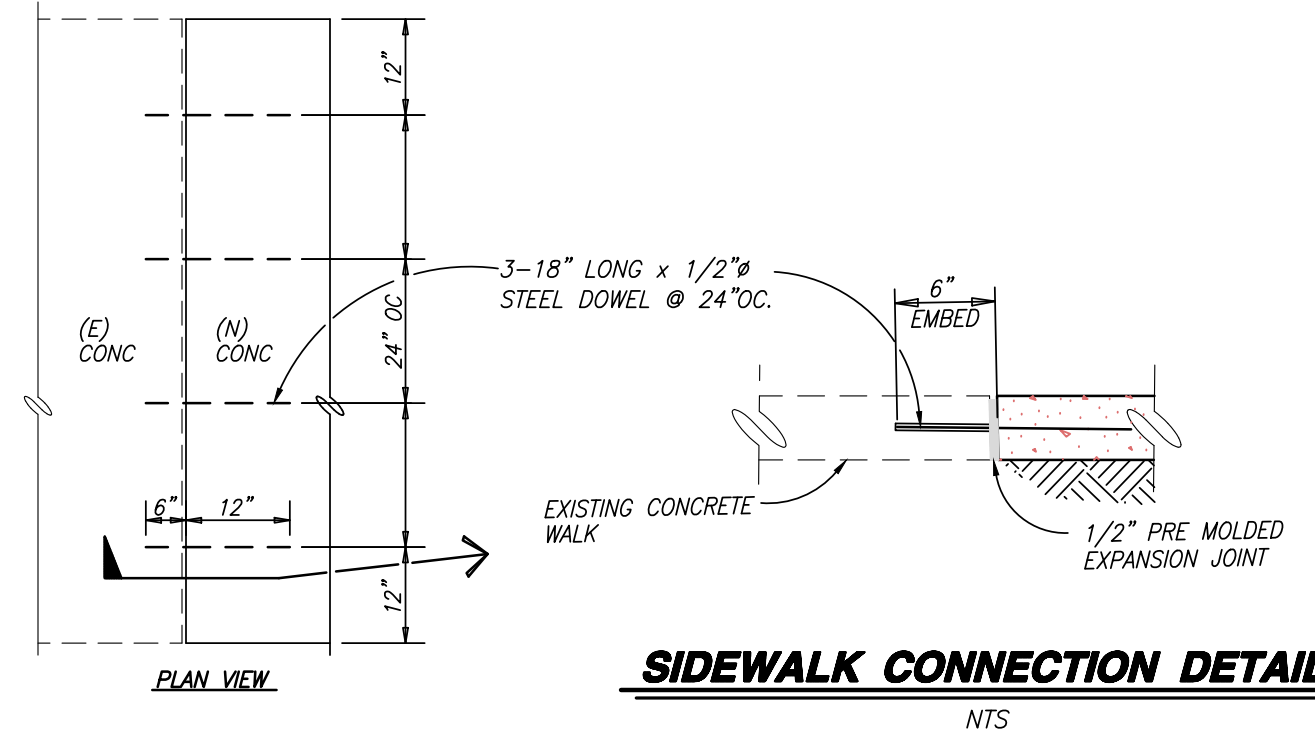


STREET NAME	R/W	WALK	COLOR	CRACK SEAL	CONCRETE SF
OAK CREEK DRIVE	60'	4.00'	GREY MUD	10+00 TO 81+00	2,678 SF
HAWK RIDGE ROAD	50'	4.00'	GREY MUD		690 SF
HAWK RIDGE COURT	50'	4.00'	GREY MUD		264 SF
SADDLE CREEK DRIVE	60'	6.00'	CALIFORNIA GOLD		308 SF
KNOLLS DRIVE	50'	4.00'	GREY MUD	10+00 TO 58+83.08	1,268 SF
KNOLLS COURT	50'	4.00'	GREY MUD		130 SF
VISTA KNOLLS COURT	50'	4.00'	GREY MUD		90 SF
FALLING LEAF LANE	50'	4.00'	GREY MUD		148 SF
ROCK RIDGE LANE	50'	4.00'	GREY MUD	10+00 TO 38+50	1,776 SF
SUMMIT LANE	50'	4.00'	GREY MUD	10+00 TO 21+00	768 SF
QUAIL MEADOW LANE	50'	4.00'	GREY MUD		190 SF
QUAIL MEADOW COURT	50'	4.00'	GREY MUD		248 SF
SADDLE CREEK LANE	50'	4.00'	GREY MUD	10+00 TO 24+50	5,974 SF
GLEN SIDE COURT	50'	4.00'	GREY MUD	10+00 TO 17+00	154 SF
GLEN VIEW COURT	50'	4.00'	GREY MUD	10+00 TO 15+50	370 SF
COPPER GLEN TERRACE	50'	4.00'	GREY MUD	20+00 TO 25+50	306 SF
COPPER GLEN COURT	50'	4.00'	GREY MUD	10+00 TO 11+50	138 SF
MITCHELL LAKE LANE	50'	4.00'	GREY MUD	10+00 TO 15+50	72 SF
MITCHELL LAKE COURT	50'	4.00'	GREY MUD	10+00 TO 15+50	302 SF
OAK WOOD PLACE	50'	4.00'	GREY MUD		234 SF
OAK WOOD COURT	50'	4.00'	GREY MUD		16 SF
LEAF CREST COURT	50'	4.00'	GREY MUD		176 SF
GRAND VIEW COURT	50'	4.00'	GREY MUD		34 SF

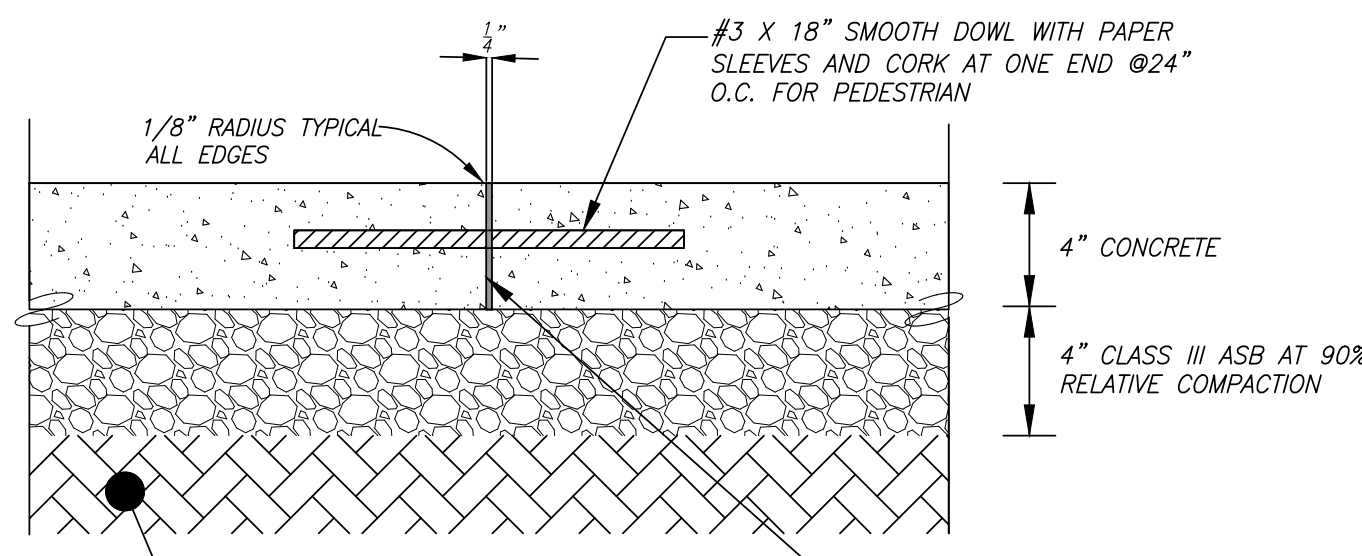
STREET SECTION CHART
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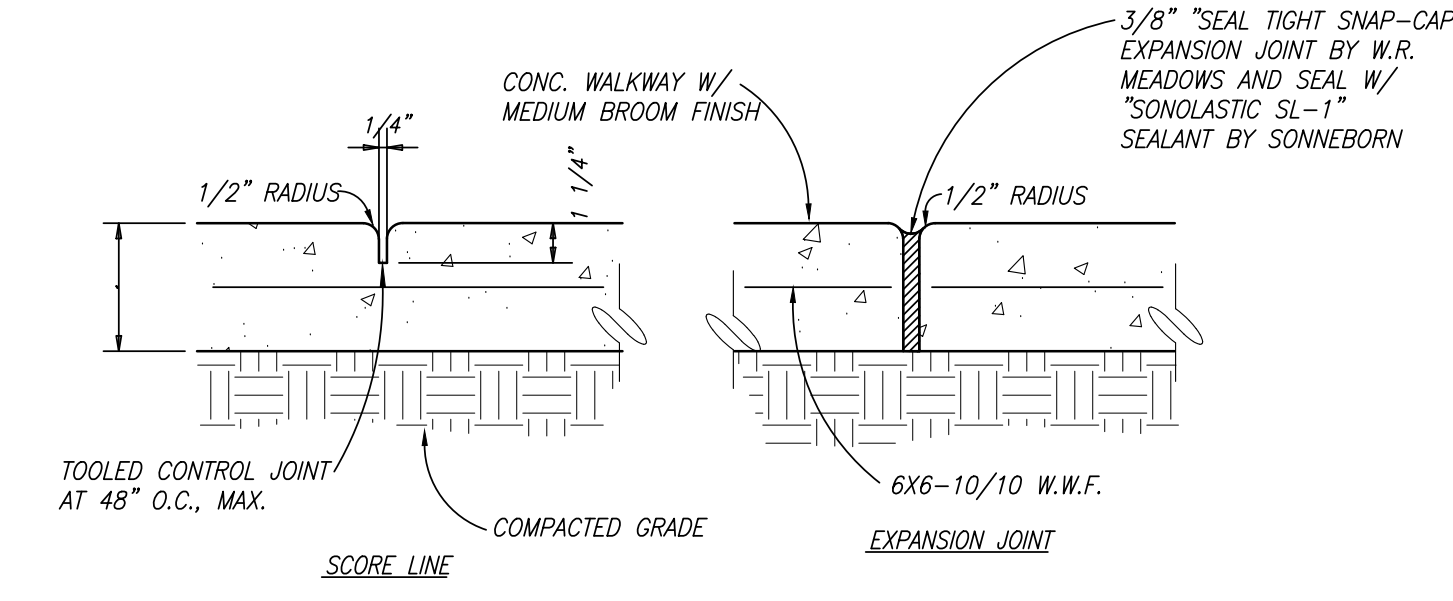
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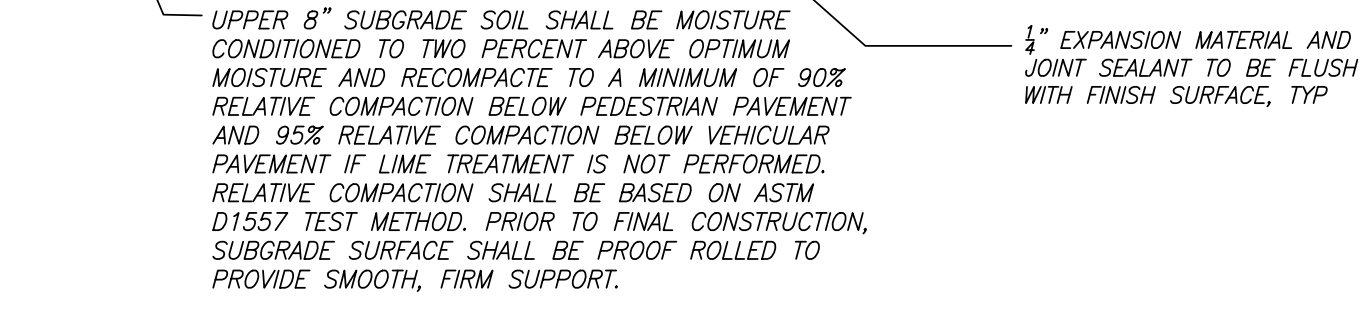
SIDEWALK CONNECTION DETAIL
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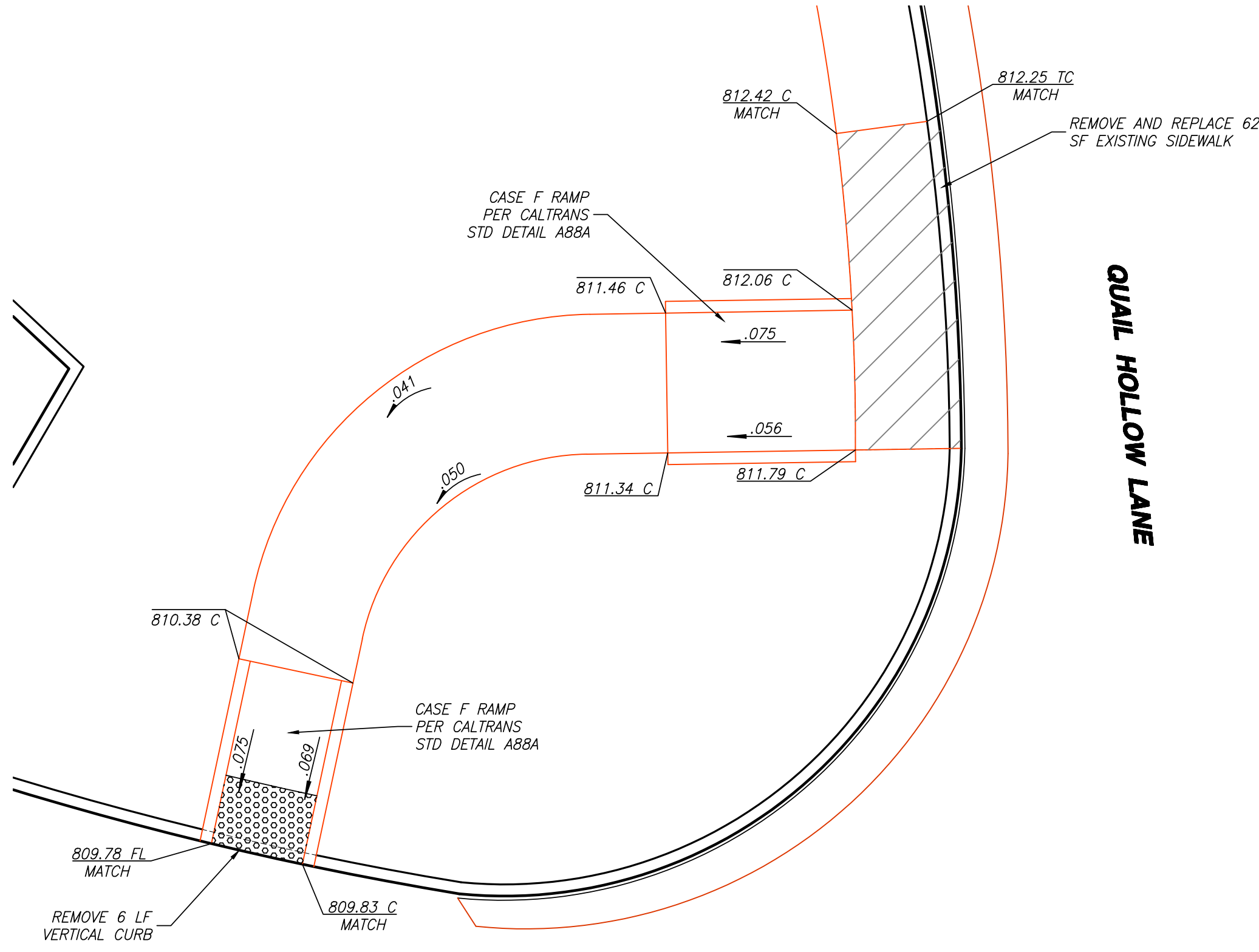
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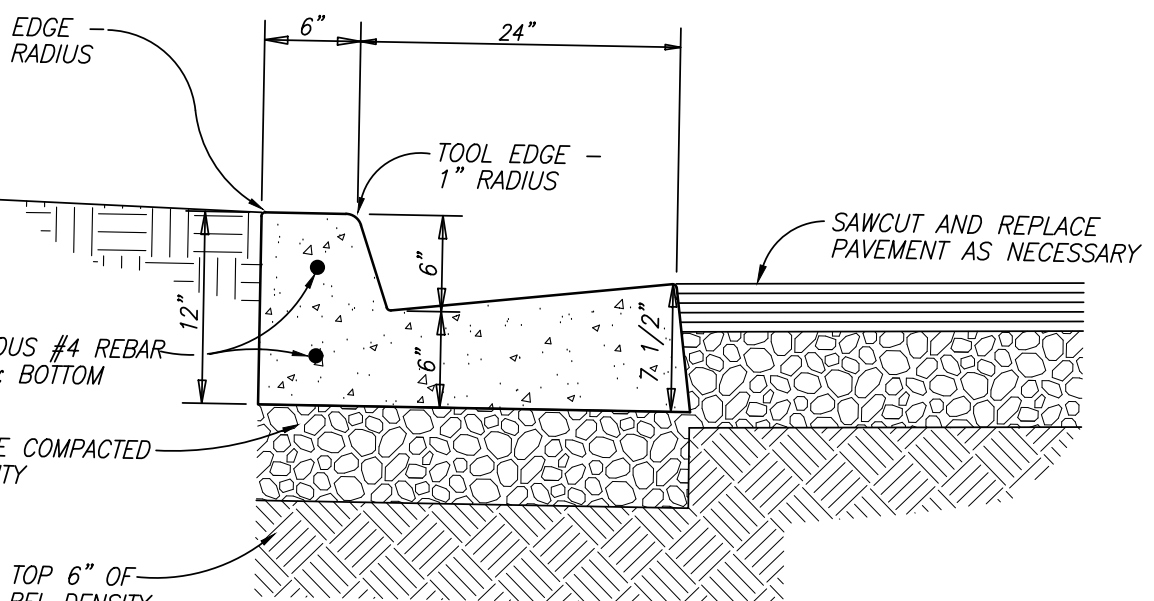
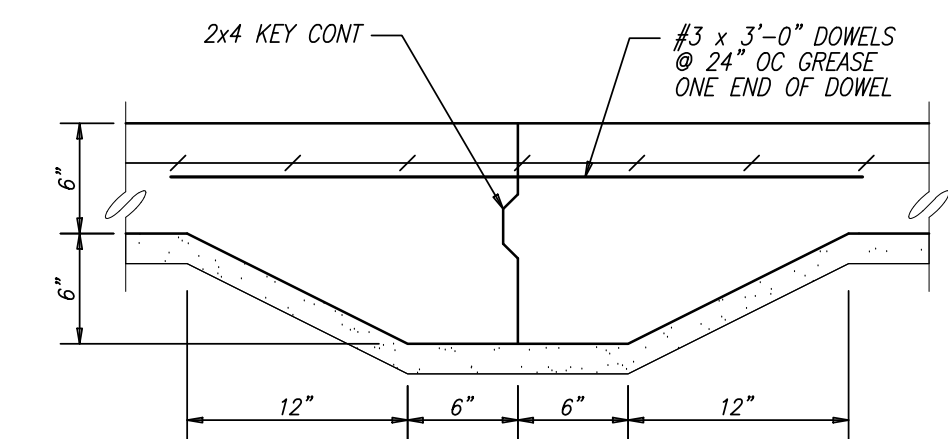
TYPICAL CONCRETE WALK DETAIL
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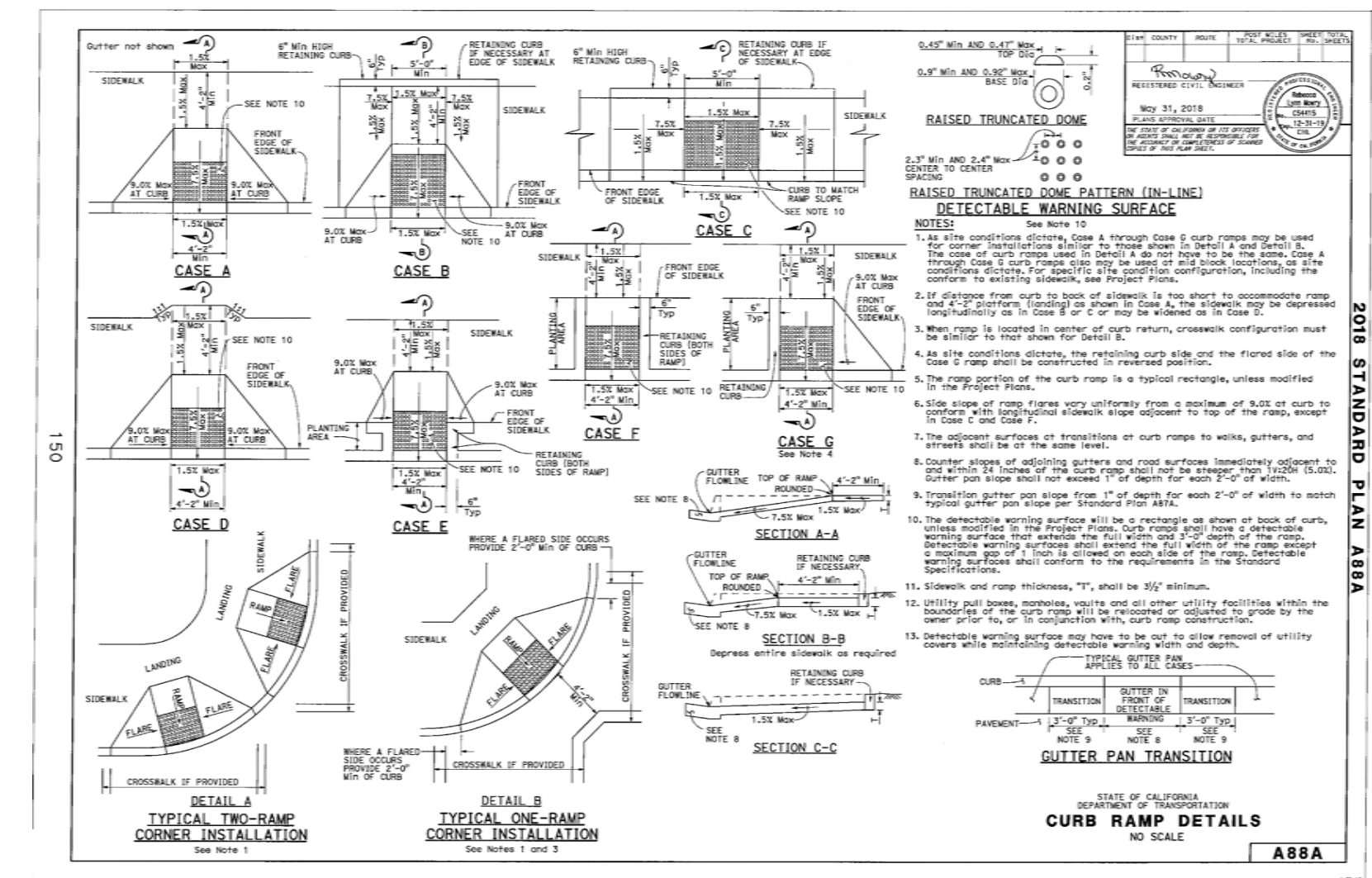
TYPICAL CONSTRUCTION JOINT
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PEDESTRIAN RAMP
(SADDLE CREEK DRIVE & QUAIL HOLLOW LANE)
 NTS

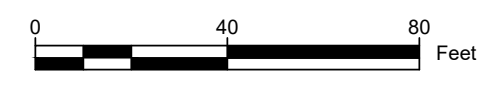


CURB AND GUTTER DETAIL
 NTS



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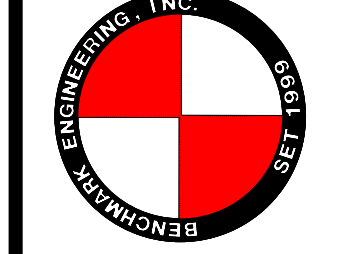




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OAK CREEK DRIVE
(STA 10+00 TO 35+21.02)
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERHOLM, CALIFORNIA

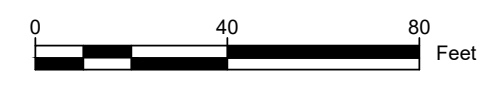
JOB NO. 254104
 DATE 10/17/2023
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SHEET NUMBER
3
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OAK CREEK DRIVE
(STA 35+21.02 TO 58+21.75)
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERPOLIS, CALIFORNIA

JOB NO. 254104
 DATE: 10/17/2023
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 CK BY: SC
 SCALE: AS SHOWN

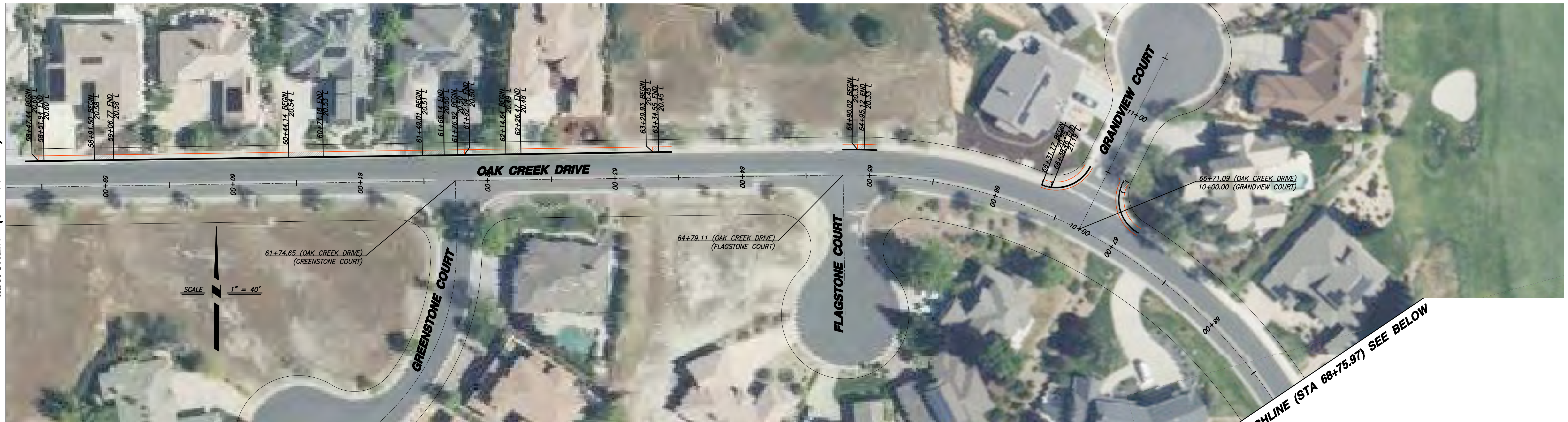
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 OF 22 SHEETS



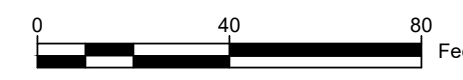
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MATCHLINE (STA 58+21.75) SEE SHEET 4



MATCHLINE (STA 68+75.97) SEE BELOW



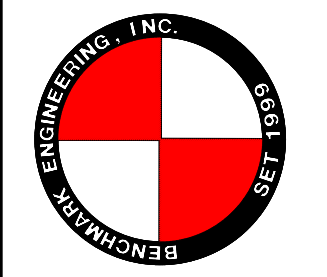
MATCHLINE (STA 68+75.97) SEE ABOVE



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OAK CREEK DRIVE
(STA 58+21.75 TO 81+00)
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 COPPERPOLIS, CALIFORNIA

JOB NO. 254104
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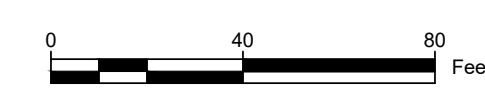
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 OF 22 SHEETS



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SCALE 1" = 40'



SCALE 1" = 40'

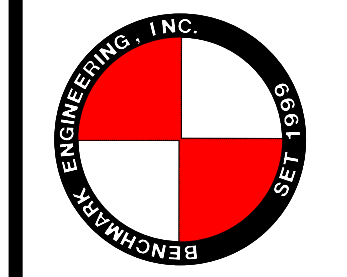


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HAWK RIDGE ROAD
(STA 16+00 TO 32+50.77)
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERPOLIS, CALIFORNIA

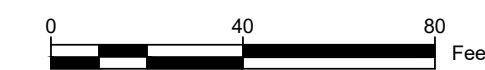
JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

SHEET NUMBER
6
 OF 22 SHEETS



PRELIMINARY - NOT FOR CONSTRUCTION

MATCHLINE (STA 32+50.77) SEE SHEET 6



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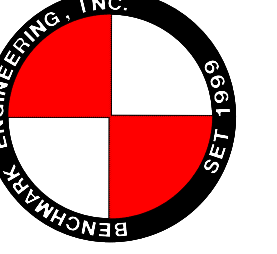


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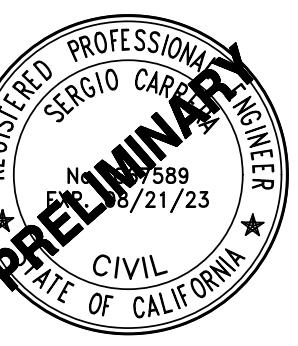
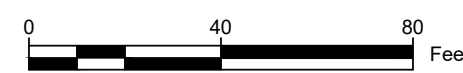
HAWK RIDGE ROAD (STA 32+50.77 TO 45+50) / HAWK RIDGE COURT
 IMPROVEMENT PLANS FOR:
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SIDEWALK REHABILITATION 23-003
 COPPERPOLIS, CALIFORNIA

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 DATE 10/17/2023
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 CK BY SC
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SHEET NUMBER
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 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

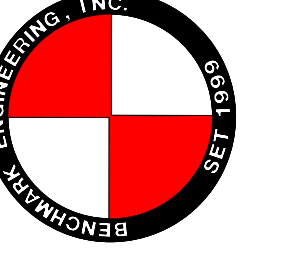
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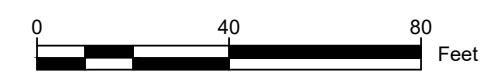
SADDLE CREEK DRIVE
(STA 10+00 TO 32+07.73)
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERPOPLIS, CALIFORNIA

JOB NO. 254104
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SADDLE CREEK DRIVE
(STA 32+07.73 TO 54+50)
 IMPROVEMENT PLANS FOR:
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 COPPERPOLIS, CALIFORNIA

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9
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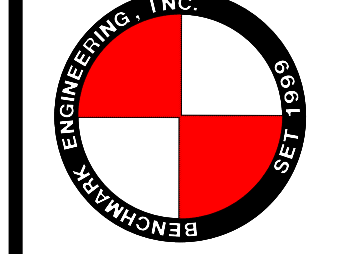


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KNOLLS DRIVE
(STA 10+00 TO 22+37.28)
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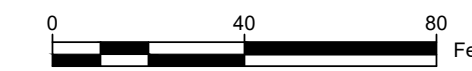
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MATCHLINE (STA 31+89.73) SEE SHEET 10

MATCHLINE (STA 40+34.66) SEE BELOW



MATCHLINE (STA 40+34.66) SEE ABOVE

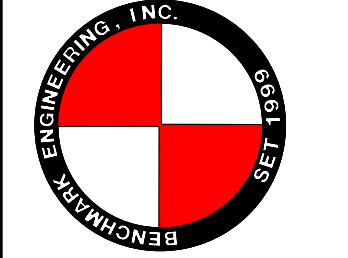
MATCHLINE (STA 52+55.78) SEE SHEET 12



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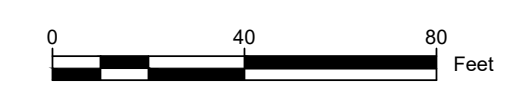


Know what's below.
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SHEET NUMBER
11
 OF 22 SHEETS

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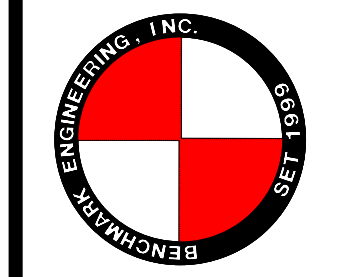
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**KNOLLS DRIVE (STA 52+55.78 TO 58+83.06) /
 KNOLLS COURT**
 IMPROVEMENT PLANS FOR:
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 SIDEWALK REHABILITATION 23-003**
 COPPERHOLM, CALIFORNIA

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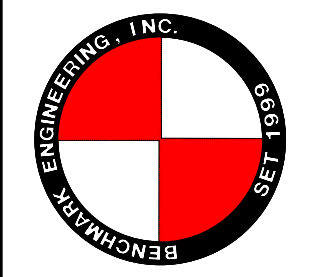
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VISTA KNOLLS COURT / FALLING LEAF LANE
 IMPROVEMENT PLANS FOR:
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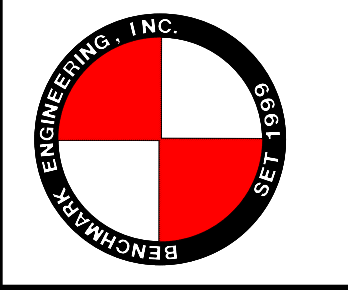
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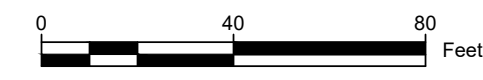
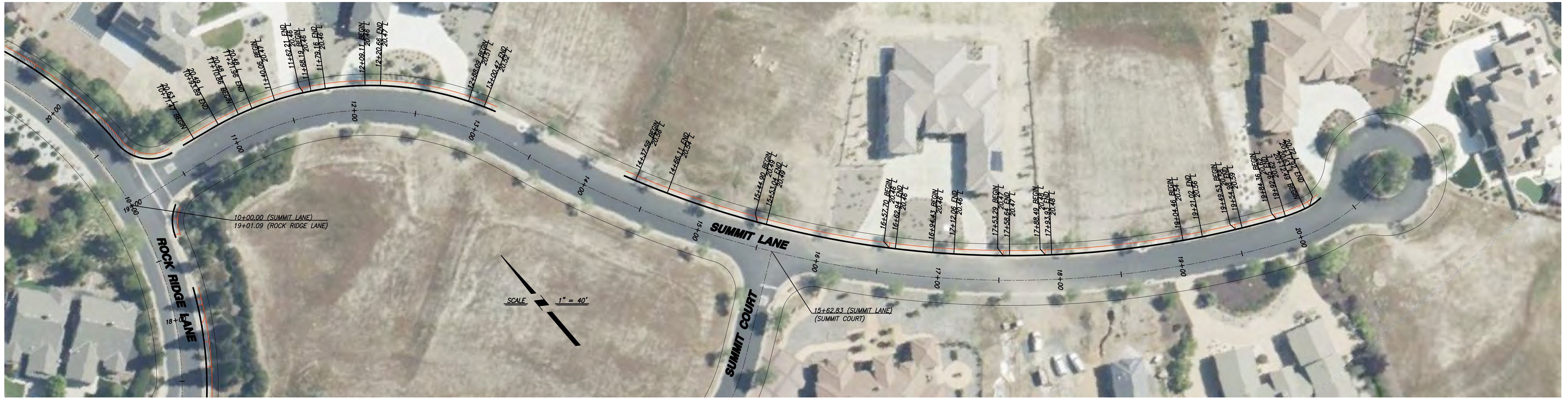
ROCK RIDGE LANE
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 CK BY: SC
 SCALE AS SHOWN

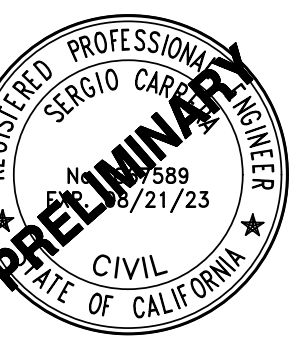
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14
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

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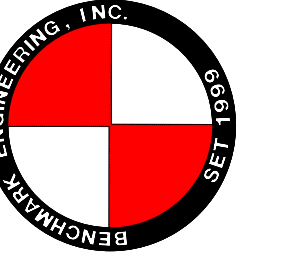
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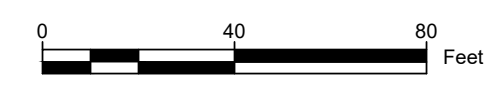
SUMMIT LANE / QUAIL MEADOW LANE
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERHOLM, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

SHEET NUMBER
15
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

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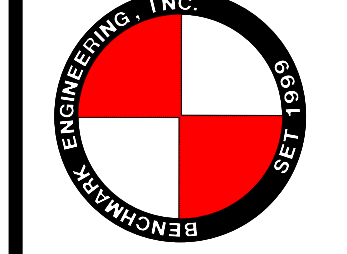


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QUAIL MEADOW COURT / SADDLE CREEK LANE
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERPOLIS, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

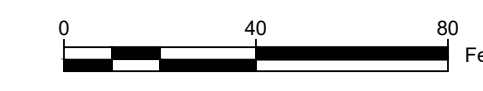
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16
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

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SCALE 1" = 40'



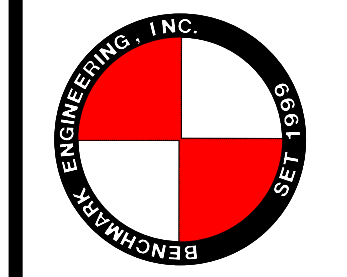
SCALE 1" = 40'



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GLEN SIDE COURT / GLEN VIEW COURT
 IMPROVEMENT PLANS FOR:
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SIDEWALK REHABILITATION 23-003
 COPPERHOLIS, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

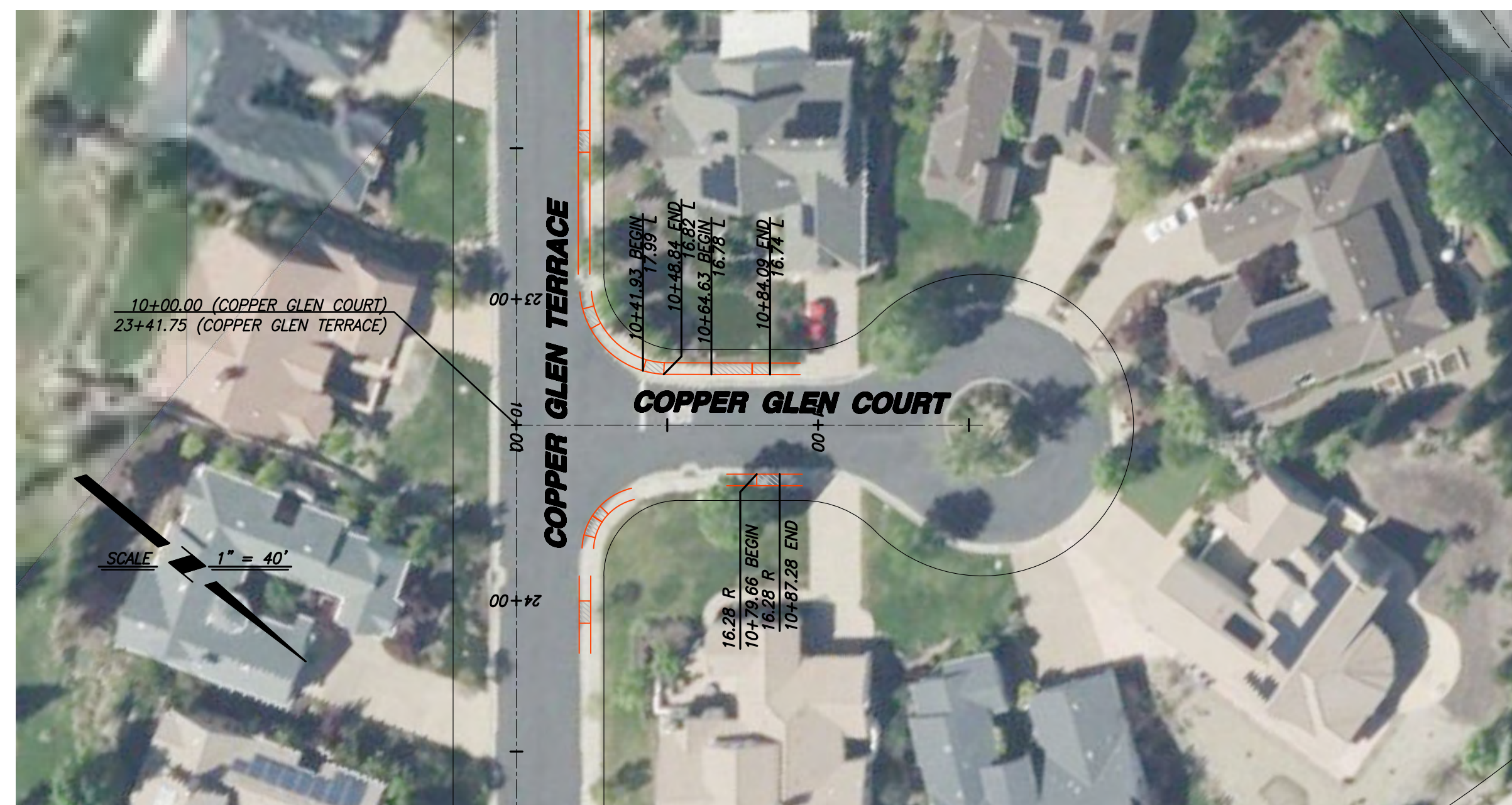


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SHEET NUMBER
17
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

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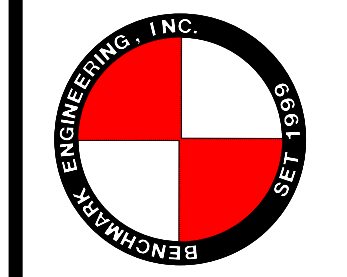


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COPPER GLEN TERRACE / COPPER GLEN COURT
 IMPROVEMENT PLANS FOR:
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SIDEWALK REHABILITATION 23-003
 COPPERPOPLIS, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

SHEET NUMBER
18
 OF 22 SHEETS



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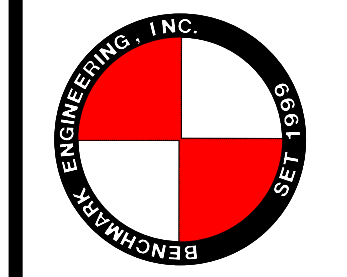
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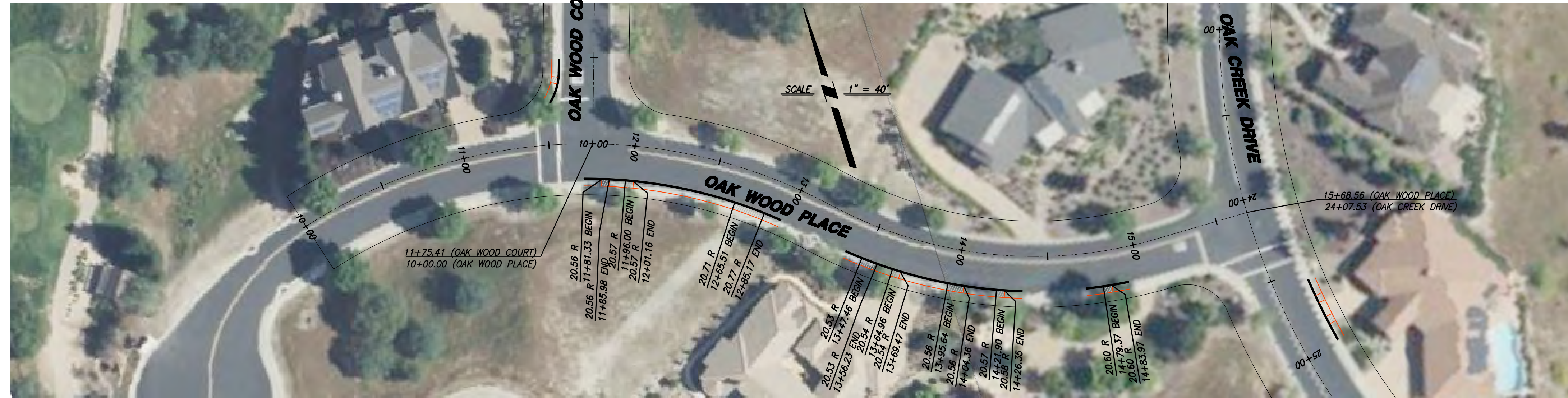
MITCHELL LAKE LANE / MITCHELL LAKE COURT
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERHOLM, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

SHEET NUMBER
19
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

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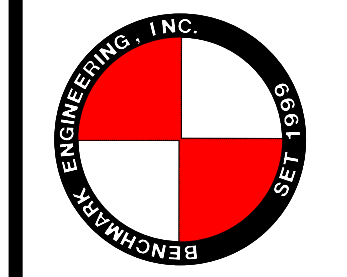


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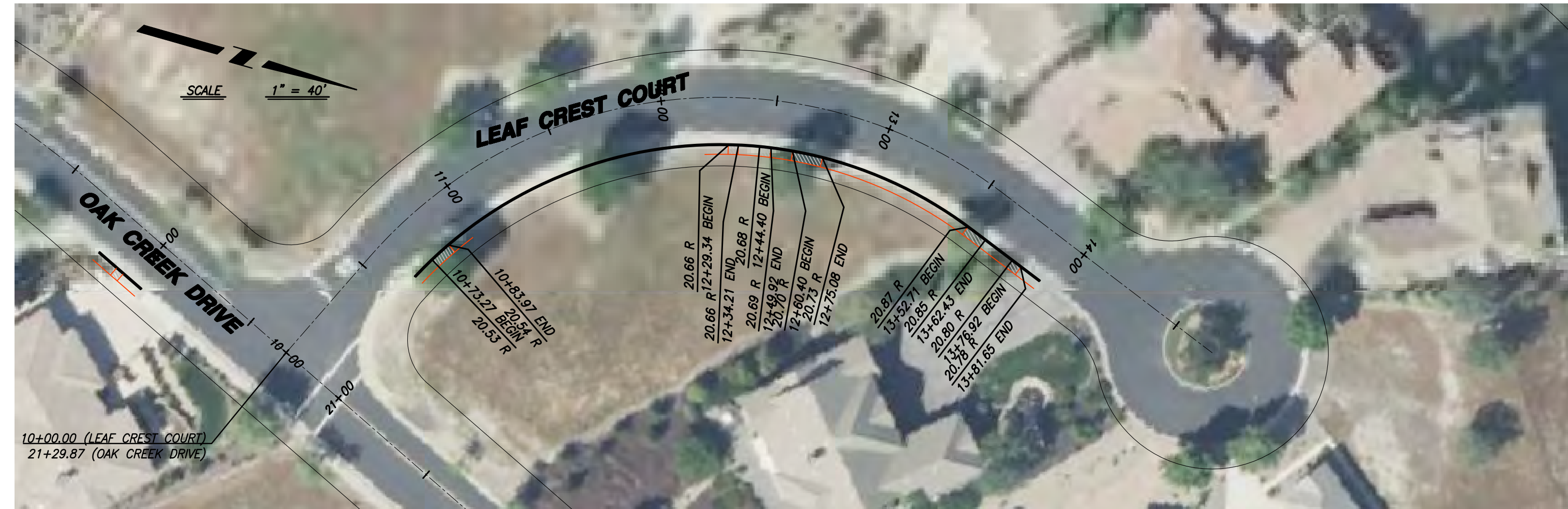
**OAK WOOD PLACE/
 OAK WOOD COURT**
 IMPROVEMENT PLANS FOR:
**COPPER VALLEY COMMUNITY SERVICES
 SIDEWALK REHABILITATION 23-003**
 COPPERPOLIS, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
 DR BY MR
 CK BY SC
 SCALE AS SHOWN

SHEET NUMBER
20
 OF 22 SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION

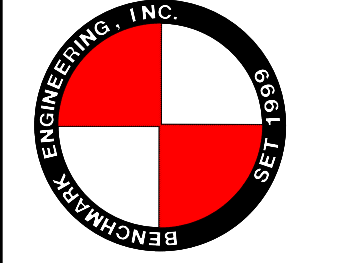
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LEAF CREST COURT / GRAND VIEW COURT
 IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERHOLM, CALIFORNIA

JOB NO. 254104
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CRACK SEAL TREATMENT

IMPROVEMENT PLANS FOR:
COPPER VALLEY COMMUNITY SERVICES
SIDEWALK REHABILITATION 23-003
 COPPERHOLM, CALIFORNIA

JOB NO. 254104
 DATE 10/17/2023
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22
 OF 22 SHEETS

CRACK TREATMENTS

1. CRACK TREATMENT ACCEPTANCE IS BASED ON VISUAL INSPECTION FOR UNIFORM FILLING OF CRACKS THROUGHOUT THE WORK LIMITS INCLUDING TREATMENT NOT BEING MORE THAN 1/4 INCH BELOW THE EXISTING PAVEMENT, SEALANT FAILURES, CRACK RE-OPENINGS, CRACK OVERBANDING LESS THAN 3 INCHES WIDE.
2. SAMPLING AND TESTING FOR COMPLIANCE IS BASED ON THE REQUIREMENTS SHOWN ON THE FOLLOWING TABLE:

Quality characteristic*	Test method*	Requirement				
		Type 1	Type 2	Type 3	Type 4	Type 5
Softening point (min. °C)	ASTM D336	102	98	90	84	84
Cone penetration at 77 °F (max)	ASTM D5329	35	40	50	70	90
Resilience at 77 °F, unaged (%)	ASTM D5329	20-30	25-35	30-70	35-75	40-80
Flexibility (°C)	ASTM D3111	0	0	0	-11	-20
Tensile adhesion (min. %)	ASTM D5329	300	400	400	500	500
Specific gravity (max)	ASTM D70	1.25	1.25	1.25	1.25	1.25
Asphalt compatibility	ASTM D5329	Pass	Pass	Pass	Pass	Pass
Sieve test (5 passes)	See note 1	100	100	100	100	100

*Cold-applied crack treatment material residue collected under ASTM D6943, Method B and sampled under ASTM D140 must comply with the grade specified.
 *Except for viscosity, cure each specimen at a temperature of 23 ± 2 °C and a relative humidity of 50 ± 10 percent for 24 ± 2 hours before testing.
 *For the flexibility test, the specimen size must be 6.4 ± 0.2 mm thick by 25 ± 0.2 mm wide by 150 ± 0.5 mm long. The test mandrel diameter must be 6.4 ± 0.2 mm. The bend arc must be 180 degrees. The bend rate must be 2 ± 1 seconds. At least 4 of 5 test specimens must pass at the specified test temperature without fracture, crazing, or cracking.
 *For hot-applied crack treatment, dilute with toluene and sieve through a no. 8 sieve. For cold-applied crack treatment, sieve the material as received through a no. 8 sieve. If the manufacturer provides a statement that added components passed the no. 10 sieve before blending, this requirement is void.

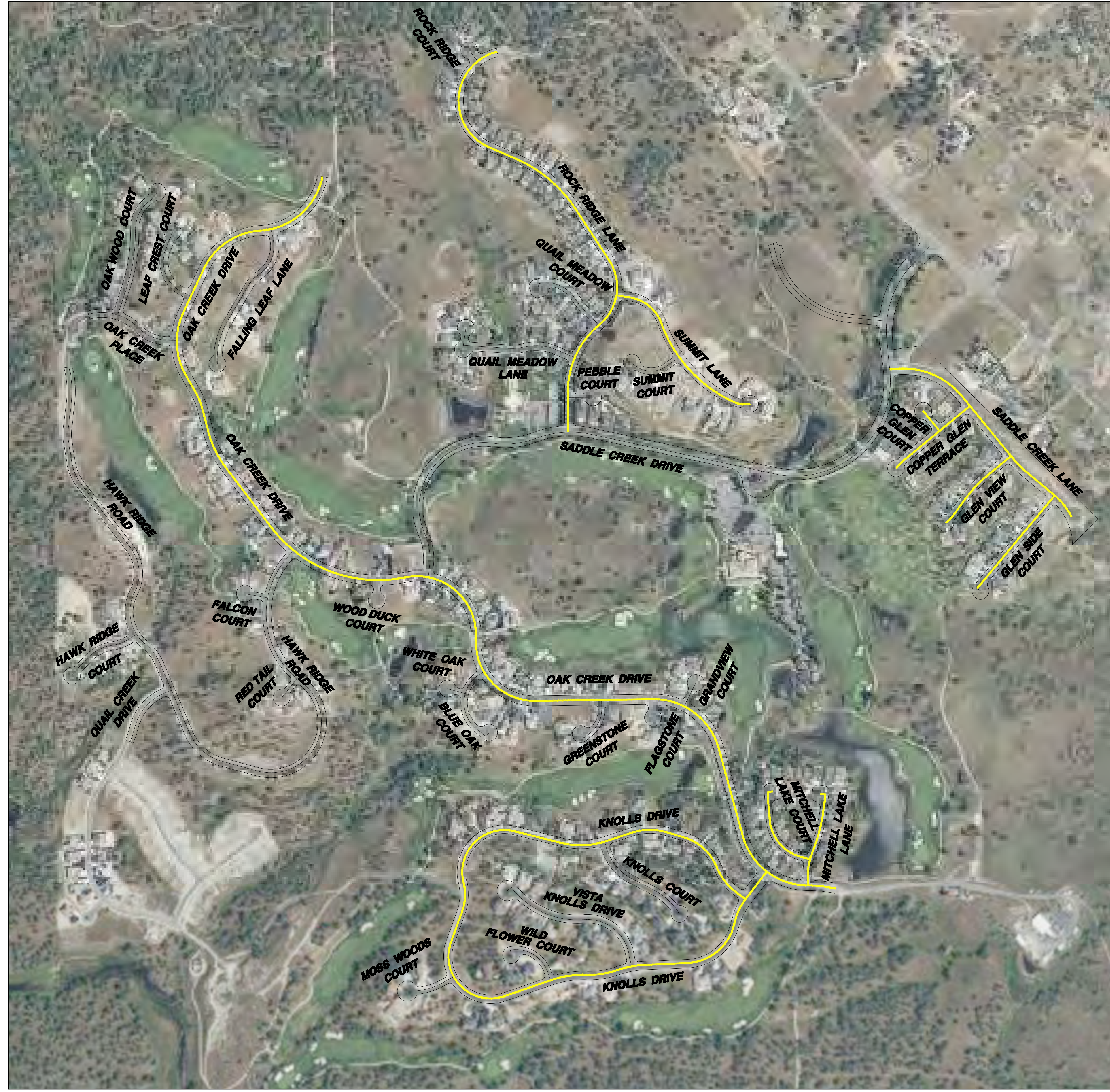
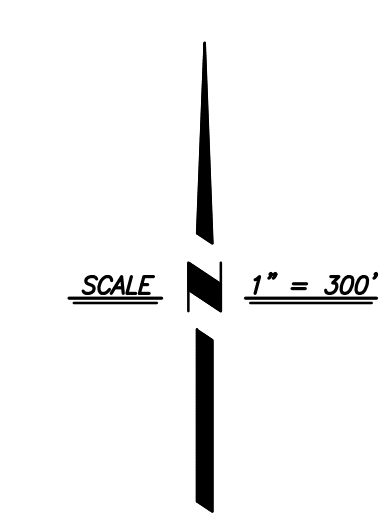
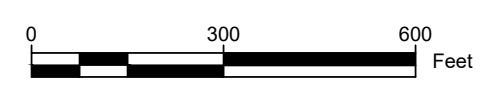
3. CRACK TREATMENT MATERIAL MUST COMPLY WITH THE REQUIREMENTS SHOWN ON THE FOLLOWING TABLE:

Material	CTAASHTO	Application
Asphalt Emulsion	Section 94/ M140, M208	Filling
Asphalt Cements	Section 94/ M20, M226	Filling
Fiber Modified Asphalt	No Specification	Filling
Polymer Modified Emulsion (PME)	Section 94/ M140, M208	Filling/Minor Sealing
Asphalt Rubber (AR)	SSP 37-400	Sealing
Specialty AR Low Modulus	SSP 37-400	Sealing
Silicone	SSP 41-200, 51-740	Sealing

CRACK TREATMENT MATERIAL MUST BE DELIVERED TO THE JOB SITE WITH THE FOLLOWING INFORMATION AVAILABLE:

- A. MANUFACTURER'S NAME
- B. PRODUCTION LOCATION
- C. BRAND OR TRADE NAME
- D. DESIGNATION
- E. BATCH OR LOT NUMBER
- F. MAXIMUM HEATING TEMPERATURE

4. SAND APPLIED TO CRACK TREATMENT MUST BE CLEAN, FREE OF CLAY, AND COMPLY WITH THE GRADATION SHOWN ON THE FOLLOWING TABLE.
5. CRACKS FROM 1/4 INCH TO 1 INCH IN WIDTH SHALL BE TREATED FOR THE ENTIRE LENGTH OF THE CRACK. FILLING CRACKS WIDER THAN 1 INCH SHALL BE INCLUDED AS A CHANGE ORDER.
6. BEFORE TREATING, CRACKS SHALL BE ROUTED OR SAWCUT TO FORM A RESERVOIR. CRACKS MUST BE CLEAN AND DRY BEFORE TREATING. BEFORE TREATING, CRACKS SHALL BE BLASTED WITH OIL-FREE COMPRESSED AIR AT A PRESSURE OF AT LEAST 90 PSI.
7. IF THE PAVEMENT TEMPERATURE IS BELOW 40°F OR IF THERE IS EVIDENCE OF MOISTURE IN THE CRACK, A HOT AIR LANCE SHALL BE USED IMMEDIATELY BEFORE APPLICATION OF CRACK SEAL.
8. CRACK TREATMENT SHALL BE DISTRIBUTED WITH A NOZZLE INSERTED INTO THE CRACK. THE CRACK SHALL BE FILLED FLUSH WITH EXISTING PAVEMENT. THE CRACK SHALL BE RETREATED IF AFTER 2 DAYS THE TREATMENT IS MORE THAN 1/4 INCH BELOW THE PAVEMENT, THE SEALANT FAILS, OR IF THE CRACK RE-OPENS.
9. UPON COMPLETION, THE CONTRACTOR SHALL REMOVE CRACK TREATMENT MATERIAL THAT HAS SPILLED OR HAS BEEN DEPOSITED ON THE PAVEMENT SECTION, AND APPLY SAND, OR AN EQUIVALENT DETACKIFYING AGENT, ON THE CRACK TREATMENT TACK, AND REMOVE ANY EXCESS SAND.





BOARD MEETING AGENDA SUBMITTAL

TO: CVCS Board of Directors

FROM: Peter Kampa, General Manager

DATE: October 17, 2023

SUBJECT: 7e) Consideration of approval of a change in District Employee Health Benefits Administrator

RECOMMENDED ACTION:

Staff recommends the following motion:

I move to authorize the General Manager to secure employee benefits from Sues Insurance Services, in a total annual dollar amount not to exceed the current fiscal year budget, and including new and increased benefits funded with cost savings.

BACKGROUND:

The Board of Directors has requested that management seek proposals from other insurance carriers. We have secured a proposal from Sues Insurance Services in Sonora. District management is experienced with the insurance services provided by Sues, which have been excellent with another district. Attached is a cost and benefit analysis of our current insurance, Blue Shield through SDRMA, with the Sues proposal of Anthem Blue Cross + Employer Driven Insurance Services (EDIS).

As you can see by the comparison, with better employee benefits with Anthem and average employee claims, the cost savings with Anthem and EDIS is \$41,776 per year. Using estimated maximum employee claims, the annual cost savings is estimated at \$22,368.

By switching insurance to Sues, the District can experience a cost savings of between \$22,368 and \$41,776 per year and the employees can see a comparable and even better benefit. Since medical insurance costs can swing widely from year to year, it is recommended that the District adopt a \$250 to \$500 annual out-of-pocket maximum for employees. Management's recommendation is that we invest the cost savings in additional ancillary benefits such as dental, vision and life insurance if desired by the employees. For example, as shown in the attached estimates, the cost of such ancillary benefits are a maximum \$6258 as follows:

Dental - \$4782

Vision - \$798

Life - \$678

We are also evaluating the addition of spouses to the insurance, but the cost has not yet been finalized for this option. It is for this reason that management seeks flexibility from the Board to offer the benefits best benefitting the employees, within the adopted current budget.

Copper Valley Community Services District

Health Insurance Proposal: December 2023

Assumption: Expected Claims

Insurance Carrier		Blue Shield- SDRMA	Anthem Blue Cross
Plan Name		\$3000 Deductible	Bronze HSA + EDIS
Plan Type		EPO	PPO
Annual Deductible (Ind/Fam)		\$300/\$600	\$0/\$0
Annual OOP Max (Ind/Fam)		\$1,300/\$2,600	\$0/\$0
Other OOP Max- Rx		\$5,300/\$10,600	\$0/\$0
Total OOP Max		\$6,800/\$13,200	\$0/\$0
Services/Charges			
Coinsurance		n/a	\$0/\$0
Doctor Visits (Primary/Specialist)		\$30	\$0/\$0
Lab/X-ray		\$0/\$25 Hospital	\$0/\$0
Advanced Imaging (CT, MRI, etc.)		\$0/100 Hospital	\$0/\$0
Inpatient Hospitalization		\$0/\$0	\$0/\$0
Emergency Room Copay (waived if admitted)		\$100	\$0/\$0
Hospital			
Inpatient care		\$250	\$0/\$0
Outpatient Hospital		\$30	\$0/\$0
RX			
Rx Deductible		\$200	\$0/\$0
Rx Copays		\$10/\$20/\$45/ 30% (100)	\$0/\$0
Outpatient Rehab/Therapy			
Physical/Occ./Speech		\$15	\$0/\$0
Chiro		\$30	\$0/\$0
Acupuncture		\$30	\$0/\$0
Rate Structure			
EE Only	7	\$1,297.80	Age Banded
EE + 1			Age Banded
EE + Family			Age Banded
Admin Fee			\$228
Average Monthly Claims			\$542
Monthly Premium			\$4,834
Total Monthly Expense*		\$9,084.60	\$5,603
Total Annual Expense		\$109,015.20	\$67,239
Difference in Cost- Monthly		n/a	-\$3,481
Difference in Cost- Annual			-\$41,776

Copper Valley Community Services District

Health Insurance Proposal: December 2023

Assumption: Maximum Claims

Insurance Carrier		Blue Shield- SDRMA	Anthem Blue Cross
Plan Name		\$3000 Deductible	Bronze HSA + EDIS
Plan Type		EPO	PPO
Annual Deductible (Ind/Fam)		\$300/\$600	\$0/\$0
Annual OOP Max (Ind/Fam)		\$1,300/\$2,600	\$0/\$0
Other OOP Max- Rx		\$5,300/\$10,600	\$0/\$0
Total OOP Max		\$6,800/\$13,200	\$0/\$0
Services/Charges			
Coinsurance		n/a	\$0/\$0
Doctor Visits (Primary/Specialist)		\$30	\$0/\$0
Lab/X-ray		\$0/\$25 Hospital	\$0/\$0
Advanced Imaging (CT, MRI, etc.)		\$0/100 Hospital	\$0/\$0
Inpatient Hospitalization		\$0/\$0	\$0/\$0
Emergency Room Copay (waived if admitted)		\$100	\$0/\$0
Hospital			
Inpatient care		\$250	\$0/\$0
Outpatient Hospital		\$30	\$0/\$0
RX			
Rx Deductible		\$200	\$0/\$0
Rx Copays		\$10/\$20/\$45/ 30% (100)	\$0/\$0
Outpatient Rehab/Therapy			
Physical/Occ./Speech		\$15	\$0/\$0
Chiro		\$30	\$0/\$0
Acupuncture		\$30	\$0/\$0
Rate Structure			
EE Only	7	\$1,297.80	Age Banded
EE + 1			Age Banded
EE + Family			Age Banded
Admin Fee			\$228
Average Monthly Claims			\$2,159
Monthly Premium			\$4,834
Total Monthly Expense*		\$9,084.60	\$7,221
Total Annual Expense		\$109,015.20	\$86,647
Difference in Cost- Monthly		n/a	-\$1,864
Difference in Cost- Annual			-\$22,368

Copper Valley Community Services District

Dental Insurance

Effective January 1, 2024

Insurance Carrier		Principal		Met Life		Guardian		Beam		Delta Dental	
Rate Guarantee		1 Year		1 Year		1 Year		1 Year		1 Year	
General Plan Information		In-Net	OON	In-Net	OON	In-Net	OON	In-Net	OON	In-Net	OON
Annual Deductible: Ind/Fam		\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150	\$50/\$150
Annual Plan Maximum		\$2,000		\$2,000		\$2,000		\$2,000		\$3,000	
Waiting Period		None		None		None		None		None	
Out-of-Network Reimbursement		99th UCR		90th UCR		95th UCR		95th UCR		MAC	
Covered Services											
Class I: Diagnostic & Preventive											
Cleanings, X-Rays, Sealants		100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Class II: Basic											
Basic, Endodontic & Periodontic		100%	80%	80%	80%	100%	80%	80%	80%	80%	80%
Class III: Major											
Crowns, Implants, Prosthodontics		60%	50%	50%	50%	60%	50%	50%	50%	50%	50%
Rate Information	# of EEs										
EE Only	7	\$56.94		\$56.55		\$56.98		\$46.28		\$52.78	
ES		\$119.91		\$112.64		\$115.66		\$92.57		\$120.52	
EC		\$137.25		\$118.69		\$128.77		\$98.44		\$98.01	
EF		\$209.85		\$186.30		\$198.51		\$144.73		\$177.98	
Monthly Total Expense		\$398.58		\$395.85		\$398.86		\$323.96		\$369.46	
Annual Total Expense		\$4,782.96		\$4,750.20		\$4,786.32		\$3,887.52		\$4,433.52	
Difference in Cost- Monthly				-\$2.73		\$0.28		-\$74.62		-\$29.12	
Difference in Cost- Annual				-\$32.76		\$3.36		-\$895.44		-\$349.44	
				-1%		0%		-19%		-7%	

** Ann. Max Rollover: Available as long as annual utilization is less than \$1,000.

Copper Valley Community Services District

Vision Insurance

Effective January 1, 2024

Insurance Carrier		Principal	Guardian	Met Life	Beam
Rate Guarantee		1 Year	1 Year	1 Year	1 Year
		VSP	VSP	VSP	VSP
General Plan Information		In-Net OON	In-Net OON	In-Net OON	In-Net OON
Exam		\$10 \$45	\$10 \$45	\$5 \$45	\$10 \$45
Materials		\$0 \$0	\$10 \$0	\$10 \$0	\$10 \$0
Frequency (Exam, lense, Frames/Contact)		12/12/12	12/12/12	12/12/12	12/12/12
Frame/Contact Allowance		\$150	\$150	\$150	\$150
<i>Contacts- Fitting</i>		Up to \$60 Copay	Up to \$60 Copay	Up to \$60 Copay	Up to \$60 Copay
Lense (Single, Bi-, Tri-, Standard Progressive)		No Charge	No Charge	No Charge	No Charge
Rate Information	# of EEs				
EE Only	7	\$8.35	\$8.58	\$10.64	\$9.51
ES	0	\$18.97	\$16.24	\$21.33	\$18.23
EC	0	\$20.51	\$16.55	\$18.05	\$16.07
EF	0	\$33.57	\$26.19	\$29.77	\$25.19
Monthly Total Expense		\$58.45	\$60.06	\$74.48	\$66.57
Annual Total Expense		\$701.40	\$720.72	\$893.76	\$798.84
Difference in Cost- Monthly			\$1.61	\$14.42	\$8.12
Difference in Cost- Annual			\$19.32	\$173.04	\$97.44
% Difference in Cost- Annual			3%	27%	14%

Copper Valley Community Services District

Life Insurance

Effective January 1, 2024

Insurance Carrier	Principal	Guardian
Rate Guarantee	1 Year	2 Year
Life Insurance Benefit	\$25,000	\$25,000
Plan Features (Accel. Benefit, Waiver of Premium, Conversion)	Included	Included
Reduction in Benefits		
Age 65-69	\$16,250	\$16,250
Rate Information		
Group Life Volume	\$166,250	\$166,250
Life Rate (Per \$1k)	\$0.309	\$0.205
AD&D Rate (Per 1k)	\$0.031	\$0.026
Monthly Total Expense	\$56.53	\$38.40
Annual Total Expense	\$678.30	\$460.85
Difference in Cost- Annual		-\$217.46
		-32%



CIVIL ENGINEERING & LAND SURVEYING

4265 Spyres Way, Suite A • Modesto, CA 95356 • 209.548.9300

November 6, 2023

Peter Kampa
Copper Valley Community Services District
3840 Little John Road
Copperopolis CA 95228

Re: November Task Order Status

Dear Mr. Kampa,

Here is a summary of the status of each of the current Task Orders.

- Task Order 23-001 – Quail Creek Acceptance
 - Updated punch list is in progress.
 - Approvals and acceptance from CCWD has been acquired.
 - Waiting on additional items from the Developer.
- Task Order 23-002 – Encroachment Document Review
 - This task order has been completed.
- Task Order 23-003 – Sidewalk Improvements
 - A link for the preliminary plan set and opinion of probable costs was sent out on October 24th. We are currently waiting for review/comment from the District as to how they would like to proceed as the total cost is above what was initially anticipated.
 - My suggestion is that the District choose the areas that they would like to prioritize and then the other areas would be shown on the bid documents as an alternate item. This would allow the District to phase the improvements based upon their budget considerations.

If there is any additional information needed, please let me know.

Sincerely,

Michael Halterman, PLS 8040
Vice President – Land Surveying
Benchmark Engineering, Inc.